



1368 Research Park Dr
Beavercreek, Ohio

BEAVERCREEK PLANNING COMMISSION
Regular Meeting – September 4, 2019, 6:00 p.m.

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF AGENDA
- IV. APPROVAL OF MINUTES
 - A. July 3, 2019
- V. PUBLIC HEARINGS
 - A. PUD 19-1 SSP #1, IH Credit Union (Applicant has requested case be tabled until the October PC meeting.)
 - B. PC 19-5 ASRA, Panera, 3281 North Fairfield Road
- VI. DECISION ITEMS
 - A. PUD 88-21 MOD 8/19, Minor, Mall at Fairfield Commons Signage
- VII. SUBDIVISIONS
 - A. S-19-3, The Mall at Fairfield Commons
- VIII. ADJOURNMENT

BEAVERCREEK PLANNING COMMISSION
REGULAR MEETING, July 3, 2019

PRESENT: Mr. Hight, Mr. Loftis, Mrs. Schwartz, Mr. Self, Mr. Shrider

ABSENT: None

Chairman Self called the meeting to order followed by roll call.

Mr. Loftis MOVED approval of the agenda. Motion was seconded by Mr. Hight and PASSED by majority voice vote.

Mrs. Schwartz MOVED approval of the June 5, 2019 minutes. Motion was seconded by Mr. Shrider and PASSED by majority voice vote.

PUBLIC HEARINGS

PUD 17-3 MOD 6/19, Minor, Cedarbrook Farms

Clerk Gillaugh read the notice of public hearing on an application filed by M/I Homes, 9349 Waterstone Boulevard, Suite 100, Cincinnati, OH 45249. The application requests approval of a minor modification to the approved site plan. M/I Homes will replace Ryan Homes as the builder of the development and is seeking approval to construct their product with the allowance of more two-story homes. Nothing on the site plan will change. The property is located at 3240 Shakertown Road further described as Book 6, Page 3, Parcel 63 on the Greene County Property Tax Atlas.

Mr. McGrath explained this is actually a minor modification and explained why it was listed as a public hearing. He stated at City Council there was a condition added that said the developer would not be able to construct any more than 4, two-story homes. He explained the new applicant did not want to limit themselves to the four, two-story homes, so staff discussed the concern with a few Council Members and felt it was best to open this up to a public hearing so everyone within 500 feet would be notified that the condition would be changing. Mr. McGrath shared the elevations of the homes and recommended approval of the case with four conditions.

Justin Layham, M/I Homes, stated they are requesting to build more two-story homes. He explained the analysis they have done on similar communities and about 20% of the buyers are looking for ranch homes so they would like to appeal to more than just that segment of the population.

In public input, Robert Wiese, 3351 Leawood Drive, stated he understood why they were going to do two-story houses to meet their profit margins but he did not understand what the problem was and why the other companies could not complete the development. Mr. Wiese stated he was concerned with the flooding on Maplewood Drive, the lot sizes, and the traffic concerns in the area.

Matt Feeser, 755 Newton Drive, stated he was opposed to the change only because he did not think the density of this development is what it should be and felt it should be far less than what it is. Mr. Feeser explained this was originally sold to City Council as a development that was age targeting an older community for residents that wanted a small home, and now they are going to be catering to families with kids. He stated there was no greenspace on this plan, and they are putting 70 homes on 19 acres.

There being no further public input, the public hearing was closed.

Mr. Hight asked if there was a relation between Ryan Homes and M/I Homes. Mr. Layham stated they are completely separate entities. Mr. Hight questioned if they were still targeting the older generation. Mr. Layham explained it was hard to speak to Ryan's position and why they were doing what they were doing with the development in terms of moving forward with a ranch community and targeting the older buyer. He said for them their target would be late 30's/ early 40's on up. He said every lot could be a ranch home, and said using their analysis there is no way to justify this community as an empty nester community only. Mr. Hight thought a 0.20-acre lot was a small lot for these size houses. Mr. Layham explained it is a typical development, and explained it is up to the buyer to decide what home they want constructed on the lot.

Mrs. Schwartz asked about the different house elevations that had been provided to the Commissioners. Mr. Layham explained the plans were the various floor plans and elevations they offer that the buyer could choose. Mrs. Schwartz asked if there were any concerns with the homes being larger and if that would affect the drainage. Mr. Moorman stated when they do the detailed design for the detention facility they will have to take into account the impervious surface areas and that will determine the sizing requirements of the pond.

Mr. Loftis asked why the two-story requirement was put in place. Mr. McGrath stated the discussion came up at Council with Ryan Homes that was targeting a 55 and older community and they offered that condition. He stated in terms of the school overcrowding there has not been a single-family home project come through since 2005 within the City of Beavercreek. Mr. McGrath said M/I Homes wanted to offer a multitude of products and not limit themselves, which would ultimately lead to a project being developed faster. Mr. Loftis asked what the target price point was for the homes. Mr. Layham said it is a little early but opening price would be \$300,000 and go up from there to average sale price of \$400,000.

Mr. Shrider verified that City Planning and City Council did not impose the two-story restriction, and it was solely at the discretion of Ryan Homes to offer that. Mr. McGrath explained Council did have a discussion in terms of the market, but it was something that was discussed by City Council but the condition was offered by the home builder at the time. Mr. Shrider confirmed the site plan was not changing from what was originally approved. Mr. McGrath stated that is correct.

Mr. Self asked how the impervious versus pervious surface compared. Mr. McGrath explained it is a minimum 55% open space requirement for R-PUDs, and the way it has been calculated it is sufficient. Mr. Self asked if the lots that were abutting the existing single-family residential houses met the 20,000 square foot lot requirement. Mr. McGrath said they do meet that lot size requirement, and in terms of density this area is classified as low-density on the Land Use Plan and this development falls within all the parameters of a low-density development. Mr. Self asked if the houses were built to order. Mr. Layham said they are built to order. Mr. Self asked the timeline of the project. Mr. Layham said it will be approximately a three year project.

Mr. Shrider MOVED to approve PUD 17-3 MOD 6/19 with four conditions:

1. All conditions of PUD 17-3 Specific Site Plan #2 Cedadbroke Farm shall remain in full force and effect except as modified herein.
2. The same elevation, materials or color scheme on a home shall not be permitted on either side of a house or across the street from a house.
3. Two-story homes will not be permitted on lots 64-70 where the lots abut existing single-story homes to the east and the north. Two-story homes will be permitted on all other lots.
4. A single-story or a non-two-story product shall be available on all lots.

Motion was seconded by Mr. Loftis and PASSED by roll call vote of 5-0.

PC 19-4, Dean's Plumbing, Conditional Use

Clerk Gillaugh read the notice of public hearing on an application filed by Pamela Dean, 649 N Monroe, Xenia, OH 45385. The applicant requests conditional use approval to allow for a plumbing business in a B-2 Community Business District. The properties are located on the east side of North Fairfield Road approximately 1,000 feet north of the intersection of North Fairfield Road and Shakertown Road. The properties are further described as Book 6, Page 3, Parcels 55 and 104 on the Greene County Property Tax Atlas.

Pamela Dean stated they are requesting permission to construct a plumbing office.

Ms. Pereira summarized the staff report dated July 27, 2019, which stated the applicant is requesting a conditional use approval for a proposed plumbing business. She discussed what currently existed on the property, the proposed site plan, the parking and access point, the building design and the building materials, the landscaping, and the signage requirements. Staff recommended approval of the case with 13 conditions.

In public input, Matt Feeser, 755 Newton Drive, stated he is all for the business and was concerned with the water runoff and how it will be mitigated from becoming worse.

There being no further public input, the public hearing was closed.

Mrs. Schwartz asked if Mr. Moorman would address the water issues. Mr. Moorman explained the water has to be directed the same way in post development as it is in the pre development stage. He explained when they do the stormwater designs they have a very conservative stormwater ordinance and typically what they see is the runoff after development is less than pre-development as far as peak flows go. Mr. Moorman discussed the pond to the north and how it drains through the private property, which the City cannot control. Mrs. Schwartz questioned if it could be addressed. Mr. Moorman explained when he looked into it before it was a small diameter pipe that was installed on the private property that was not letting the water get out and was the core issue.

Mr. Loftis asked what the impervious surface change was. Ms. Pereira explained it is minimal and regardless they were going to be required to have a detention pond. Mr. Loftis questioned if the drainage would slope towards or away from North Fairfield Road. Ms. Pereira explained it will slope towards the east.

Mr. Self questioned if staff had any concerns with the ground sign in terms of a line-of-sight problem. Ms. Pereira explained where the apron was and where the sign was going to be located. She said they would make sure it is not a line-of-sight issue before staff issues the permit. Mr. Self referred to the HVAC unit on the north side of the building and asked if there was a wall screening it. Ms. Pereira said it was a solid hedgerow. Mr. Self wanted to make sure it wasn't visible from the street. Mr. Self asked if the fuel tanks were removed. Ms. Pereira said yes, and she believed the applicant had documentation showing they had been removed. Mr. Self asked if the poles needed to be 16 feet high, and if some of those lights could be building mounted. Mr. Pereira explained they could be made shorter, but then more would be needed. She stated it is staff's preference to mount the lights in the parking lot and not on the building because the lighting goes out more and not down. Mr. Self was just concerned with excessive light pollution. Ms. Pereira said they have a requirement to have 0.00 footcandles at the property lines. Mr. Self asked about the pond area and where it would drain. Mr. Moorman explained they are still laying it out, but looking at the contour lines on the plan he believed it would be in the northeastern portion of the site.

Mr. Loftis suggested adding a condition regarding the perpetual maintenance of landscaping.

Mr. Loftis MOVED to approve PC 19-4 CU with 13 conditions, modifying Condition #12:

1. The approved site plan shall be the plan stamped "Received June 06, 2019" except as modified herein.
2. The approved elevations shall be the plans stamped "Received June 24, 2019" except as modified herein.

3. Prior to the issuance of any zoning permit all comments and concerns of the Planning and Development Department, City Engineer, Fire Department, and Police Department shall be addressed and satisfied.
4. Debris and trash shall be routinely collected by the owner from the parking lot and grounds.
5. The mounting height for any new parking lot light fixtures shall be no taller than sixteen (16) feet. The lighting shall be reduced to 25-percent the illumination levels of the lighting when not in operation.
6. All signage shall adhere to the B-2 zoning requirements of the Beavercreek Zoning Code.
7. No external speakers shall be permitted on site.
8. Trash collection shall be limited to the hours of 7am-9pm.
9. No temporary signage shall be permitted unless otherwise approved by the Planning Department in accordance with the regulations of the Zoning Code.
10. A final subdivision shall be required to be approved by Planning Commission, combining both lots, prior to the release of a zoning permit.
11. The dumpster enclosure shall be constructed of masonry materials, similar to those used on the building and shall have a closeable, lockable gate.
12. The final landscape plan must adhere to the landscape code requirements and shall be reviewed and approved by the Planning Department prior to the release of a zoning permit for the construction of the building. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally installed, within three months weather permitting.
13. No outside storage, sale, or display of merchandise or equipment is permitted within this development.

Motion was seconded by Mr. Hight, and PASSED by roll call vote of 5-0.

PUD 18-4 SSP #2, Harbert Self Storage

Clerk Gillaugh read the notice of public hearing on an application filed by John Kopilchack, 3500 Pentagon Blvd., Ste. 500, Beavercreek, OH 45431. The application requests approval of a specific site plan to allow for the development of nine self-storage buildings and a rental office on 3.37 acres of land. The property is located on the east side of Harbert Drive approximately 230 feet north of the intersection of Harbert

Drive and Indian Ripple Road. The properties are further described as Book 3, Page 19, Parcel 97, 98 and 105 on the Greene County Property Tax Atlas.

John Kopilchack, Synergy Building Systems, explained they rezoned the property and this was the use proposed on the back three-quarters of the property. Mr. Kopilchack said the front parcel will have a retail building constructed on it, and they have received approval for it already. He explained this would be a self-storage project they hoped to get started on shortly after this process.

Mr. Burkett summarized the staff report dated June 28, 2019, which stated the applicant is requesting approval of a specific site plan to allow for the construction of nine self-storage buildings with a rental office. He discussed the location of the property, the site plan, the building elevations, the landscaping plan, and the signage requirements. Staff recommended approval with 19 conditions.

In written input, Steve Nuttall, SRI Lease, 75 A Harbert Drive had some concerns with the roof pitch.

There being no further public input, the public hearing was closed.

Mr. Shrider asked about the concerns regarding the written input with the pitched roof. Mr. Burkett explained it is part of the covenants and restrictions for pitched roofs but those are private covenants and restrictions between property owners that the City does not get involved in enforcing. Mr. Shrider questioned if that had anything to do with their decision tonight. Mr. Burkett explained it was something two neighbors agreed to on their own that the City cannot get involved in.

Mr. Self questioned if the downspouts ran to the underground drainage or if they dump onto the asphalt. Mr. Burkett believed they were trying to get away from as many catch basins on this property as possible, and said the lot is slightly sloped so the water will go to the north. Mr. Self asked if this development met the impervious surface requirements. Mr. McGrath stated these types of developments are a little unique in terms of impervious surface requirements and as long as the stormwater detention facilities are adequate to control the stormwater based on the impervious versus pervious surface then it is just the nature of the business in terms of how it functions. Mr. Self questioned where the detention pond was located. Mr. McGrath explained it is to the north.

Mr. Hight MOVED to approve PUD 18-4 SSP #2 with 19 conditions:

1. The approved site plan shall be the plans dated "Received June 28, 2019" except as modified herein.
2. The approved architectural elevations shall be the plans dated "Received June 17, 2019" except as modified herein.

3. A PUD Agreement must be signed by the owner and a bond or letter of credit for the site landscaping must be submitted prior to issuance of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the City's landscaping and screening regulations.
4. The final landscape plan shall be reviewed and approved by the Planning Department prior to the release of a zoning permit for the building. Additional trees and shrubs along the northern and eastern property lines shall be added to the final landscape plans
5. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally installed, within three months weather permitting.
6. Any portion of the site disturbed by grading or by the removal of former structures and/or pervious surfaces and on which no construction occurs within three months after completion of the site grading, shall be planted with appropriate ground cover and properly maintained. Such areas shall be shown as part of the final landscape plan.
7. Debris and trash shall be routinely collected by the owner from the parking lot and grounds of all areas of the project including the storm drainage facilities. The City reserves the right to require more frequent collection as necessary.
8. All building mechanical equipment is to be screened from all directions with architectural features (roof forms or parapet walls) on each building. Metal screening will not be accepted. Pad mounted equipment must be screened with landscaping and/or masonry walls and shall not be visible to the public.
9. Gutters and downspouts shall not be visible on any elevation of any of the buildings. They shall be internally mounted.
10. Design elements consistent with the provided architectural elevations shall be continued on the perimeter elevations of the easternmost storage building. The final elevations shall be reviewed and approved by the Planning Department prior to the release of a zoning permit.
11. Prior to the issuance of a zoning permit, final cut sheet details and photometric plans for lighting of the site shall be reviewed and approved by the Planning Department. Maximum mounting height for any parking fixture shall be 20 feet, and no pole shall be located in the paved area of the parking field. All light fixtures and related illumination of the site must meet the conditions outlined in the Zoning Code.
12. All man-doors, service doors and loading dock doors shall be painted to match

the color of the building as to blend in with the proposed façade.

13. Any split-face block, EIFS, or concrete masonry unit block will be of integral color and not a material that is painted on the outside only.
14. Wall signage shall comply with the Zoning Code for B-3 districts. The applicant shall be allowed to have one additional wall sign, on the wester elevation of the office building, and one on the western elevation of the southernmost self-storage building, the final locations and sizes to be reviewed and approved by the Planning Department prior to the issuance of a sign permit.
15. All wall signs shall be individually mounted channel letters or panels. No raceways shall be permitted.
16. No temporary signs shall be permitted within this development.
17. There shall be no outdoor storage, display, rental or sales at any time of automobiles, recreational vehicles, material, equipment, machinery or merchandise at any time unless approved by the Planning Commission.
18. All trash collection containers shall be screened from view and enclosed within a permanent dumpster enclosure or stored completely within the building. Any dumpster enclosure shall be constructed of the same materials as the primary building and have a closable, lockable gate. The final design of the dumpster enclosure shall be reviewed and approved by the Planning and Zoning Department prior to the issuance of any zoning permits.
19. Sidewalk along Harbert Drive shall be included on the final plans and shall be installed per the specifications of the Engineering Department.

Motion was seconded by Mrs. Schwartz, and PASSED by a roll call vote of 5-0.

PUD 88-21 MOD 6/19, Major, Marriott Dual Brand Hotel

Clerk Gillaugh read the notice of public hearing on an application filed by HiFive Design Group, Inc., 202 West Main Street, Mason, OH 45040. The application requests a major modification to the specific site plan to allow for the construction of a 156-room 4-story hotel located on the north side of Fairfield Commons Boulevard across the street from 2671 and 2687 Fairfield Commons Boulevard. The property is further described as Book 4, Page 3, part of Parcel 4 on the Greene County Property Tax Atlas.

Blake Helms, Hi Five Design Group, Inc. stated they are proposing a 156-room Dual Brand Marriott Hotel located at the mall. He said they are very excited about the project.

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Mr. Burkett summarized the staff report dated June 28, 2019, which stated the applicant is requesting approval for the construction of a 4-story 156-room hotel on 2.1 acres. He discussed the location of the property, what currently exists on the site, the site plan, the three access points, the parking requirements, the architectural elevations, the building materials, the landscaping requirements, and the lighting requirements. He reviewed several conditions in the resolution and recommended approval of the case with 20 conditions.

In public input, Bob Ritter, stated they are hotel developers and have over 60 million dollars invested here in the City of Beavercreek. He felt this was not the right location and there were better locations in Beavercreek. Mr. Ritter felt the removal of the 270 parking spaces would create a major parking concern during the weekends and throughout the holiday season. He understood the former Sears store was being converted into an entertainment venue on the bottom floor and a furniture store on the top floor and from the mall itself it was going to create an additional 50,000 more visitors to the mall area. Mr. Ritter discussed the landscaping that was going to be compromised by this project, and was concerned with the increase in traffic flow. He requested the Commission to consider a no vote tonight on this request.

Blake Helms, Hi Five Design Group, Inc. discussed the parking spaces issue, and said there are 97 parking spaces around the hotel and the upper lot has 62 spaces. He said this is a superb location for the hotel. Mr. Helms stated he would like some further clarification as to what Condition #9 was referring to in the resolution.

Jamie Walters said she was a proud Beavercreek resident for the past 12 years. She explained her house was damaged in the tornado so she is living in one of the hotels by the mall for the next six months. Ms. Walters said she has noticed a heavy traffic flow pattern that comes in and asked if there has been a traffic study done. She asked what kind of an increase was going to take place and what would be done to fix the traffic concerns. She had some concerns with the parking requirements, and questioned if they were going to start seeing buildings popping up in the mall parking areas.

In written input, Matt Jerkowitz, MFC Beavercreek LLC, was in support of the application.

There being no further public input, the public hearing was closed.

Mr. Hight asked if they were a few parking spaces short and if there was any concern. Mr. Burkett explained he was not concerned with it since there were so many parking spaces around the mall. Mr. Hight questioned if there was a traffic study done or if there would be any changes to the traffic patterns. Mr. McGrath explained Round One coming in the lower level will probably draw more visitors than the store on the second floor. He discussed the parking requirements for the mall when it was constructed and how the parking requirements were changed in 2009 leading to the mall being a heavily over parked area. He explained in terms of traffic, he believed the construction of the hotel

will have minimum impact on the traffic flow because it is designed to be a lot more intense than what it is actually designed because of the changes in the retail business.

Mrs. Schwartz asked if the traffic entrance was changing up top and would line up with the Jared entrance. Mr. Burkett explained it would remain the same.

Mr. Loftis asked if there were any conference rooms proposed in the hotel. Mr. Burkett explained there would not be larger than a normal size meeting room.

Mr. Shrider referred to Condition #9, and asked why it was in the resolution. Mr. McGrath explained the owner of Spinoza's Pizza was requesting a ground sign that would be permitted as part of this application. He explained Washington Prime did not have any concerns with it nor did staff so this was a mechanism to get this approved as well.

Mr. Self thought a left turn lane on the ring road would need to be required because of the increase in traffic for the hotel and the entertainment business. Mr. Burkett explained there are four lanes of traffic around the mall, and a person could go around if they wanted to. Mr. Self asked if the driveway they were installing from the upper level to the lower level was only going to affect a few trees. Mr. Burkett stated that was correct. Mr. Self questioned what the appearance of the hotel and the existing mall structure would look like from North Fairfield Road. Mr. Burkett showed a graphic he had created of what it would look like. Mr. Self asked the applicant if their concerns had been addressed. Mr. Helms said he was comfortable.

Mr. Loftis MOVED to approve PUD 88-21 MOD 6/19 with 20 conditions, modifying Condition 19:

1. The approved site plans for this development shall be the plans stamped "Received June 27, 2019", except as modified herein.
2. The approved architectural plans for this development shall be the plans stamped "Received June 7, 2019", except as modified herein.
3. A detailed landscape plan shall be reviewed and approved by the Planning and Development Department prior to the execution of the required PUD Agreement and the release of any zoning permit for this project. Additional landscaping along the southern property line shall be included, as depicted in Exhibit A.
4. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally planted, within three months, weather permitting.

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5. Any portion of the site disturbed by grading, and on which no construction occurs within three months after completion of the site grading, shall be planted with appropriate ground cover free of noxious weeds and construction debris and shall be properly maintained.
6. A PUD agreement must be signed by the owner and a bond or letter of credit for the required site landscaping must be submitted prior to the release of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the City's landscaping and screening regulations.
7. All trash collection containers shall be screened from view and enclosed within a permanent dumpster enclosure or stored completely within the building. Any future dumpster enclosure shall be constructed of materials consistent with the principle building. The final design of the enclosure shall be reviewed and approved by the Planning and Development Department prior to the issuance of any zoning permits.
8. The proposed ground sign shall be no taller than 5.5 feet, be no greater than 32 square feet per sign face, and shall be constructed on a stone base and wrap.
9. A ground sign, a maximum of five feet tall and 25 square feet per sign face (with a 1 foot thick masonry sign cabinet surrounding the face) for Spinoza's shall be permitted on Fairfield Commons Boulevard. The final design and location shall be reviewed and approved by the Planning Department prior to the release of a zoning permit for that sign. The sign structure shall also include landscaping around the base, the final design of which shall be reviewed and approved by the Planning Department prior to the release of a zoning permit for that sign.
10. The wall sign size and locations shall be generally consistent, but no greater than, the wall signs shown on the architectural elevations.
11. Wall signs shall be individually mounted channel letters. The use of raceways or painting of letters on the wall shall be prohibited.
12. Prior to the issuance of a zoning permit, final cut sheet details and photometric plans for lighting of the site shall be reviewed and approved by the Planning Department. No pole mounted fixtures shall be located in the paved area of the parking field. All light fixtures and related illumination of the site must meet the conditions outlined in the Zoning Code. Lights in the parking lot shall be reduced to no greater than 25 percent illumination level within one hour of closing.

13. The building exterior shall not be painted or altered in any way that varies from the approved elevations unless otherwise approved by the Planning and Development Department or, if required, by the City Council and/or Planning Commission.
14. No portion of the building may be occupied for the first time or reoccupied later until and unless an application of a Certificate of Use Compliance has been submitted to the City by the property owner or by the prospective occupant. No such occupancy may occur until the application of Certificate of Use Compliance has been approved and issued by the City.
15. All concerns of the City Engineer, Fire Department, Sanitary Engineer and the Planning and Development Department shall be addressed prior to the issuance of a permit for the project.
16. All building mechanical equipment is to be screened from all directions with architectural features (roof forms or parapet walls). Metal screening will not be accepted. Pad mounted equipment must be screened with landscaping and/or masonry walls and shall not be visible to the public.
17. Debris and trash shall be routinely collected by the owner from the parking lot and grounds of all areas of the project. The City reserves the right to require more frequent collection as necessary.
18. Downspouts shall be internally mounted and shall not be visible on the exterior of the building.
19. Prior to the release of the zoning permit, the applicant shall provide a copy of an executed agreement between the Mall at Fairfield Commons owners and the applicant showing the designation of 62 parking spaces in the upper parking lot as available for cross parking for Marriott. The final version shall be stamped as recorded at the Greene County Recorder's Office, prior to being sent to the city. The draft language of cross-parking agreement shall be reviewed and approved by the Planning Department and/or Law Director prior to the agreement being recorded with the county.
20. The applicant shall construct a sidewalk along the Fairfield Commons Drive frontage of Fox and Hound and Red Robin, as shown on Exhibit 1. If, after all reasonable attempts to secure construction easements in front of Red Robin are exhausted, and the appropriate construction easements are not procured, the applicant may seek relief of constructing that portion of the sidewalk, at the discretion of the Planning Director.

Motion was seconded by Mr. Hight, and PASSED by a roll call vote of 5-0.

DECISION ITEMS

PUD 97-1 MOD 6/19, Minor, Fifth Third Bank

Ms. Pereira summarized the staff report dated June 26, 2019, on a request by Bethany Rooney, Agent for the Owner, 2100 First Avenue North, Suite 100, Birmingham, AL 45202. The applicant is requesting approval of a minor modification to the previously approved site plan for the Fairfield Place Planned Unit Development to allow for the construction of a 3,629 square foot Fifth Third Bank on Outlot #3 of the development. She discussed the site plan, the parking requirements, the landscaping plan, the building design, the lighting requirements, and the sign requirements. Staff recommended approval of the case with 13 conditions.

Mr. Loftis asked if this business was going to be part of the agreement in maintaining the access road. Ms. Pereira said yes.

Mr. Self asked if the roof parapets would be tall enough to cover any roof top units. Ms. Pereira explained this property is very flat, but a condition was added that the roof top units need to be screened.

Mr. Shrider MOVED to approve PUD 97-1 MOD 6/19 with 13 conditions:

1. All conditions of PUD 97-1 and PUD 97-1 SSP #1 shall remain in full force and effect except where specifically amended by the following conditions:
2. The plans dated "Received June 27, 2019" shall be the approved plans for this project except where modified herein.
3. Light fixtures shall be reviewed and approved prior to the issuance of a permit and the applicant shall match the light fixtures that are already in place within the Planned Unit Development.
4. All signage shall adhere to the approved sign package for PUD 97-1.
5. No temporary signs shall be permitted. This includes but is not limited to the outdoor display of banners, balloons, streamers, and stand-alone signage.
6. Scuppers and downspouts shall not be visible on the exterior of the building.
7. All concerns of the City Engineer, Beavercreek Fire Department and Planning Department shall be addressed prior to the issuance of a zoning permit.
8. A PUD Agreement, acceptable to the City, must be signed by the owner and a bond or letter of credit must be submitted prior to issuance of a zoning permit for any portion

of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the city's landscaping and screening regulations.

9. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes, as originally planted, within three months, weather permitting.
10. The applicant must obtain a zoning permit issued by the City of Beavercreek prior to construction.
11. All service doors on the building shall be painted to match the color of the building.
12. All building mechanical equipment is to be screened from all directions with architectural features (roof forms or parapet walls). Metal screening will not be accepted. Pad mounted equipment must be screened with landscaping and/or masonry walls and shall not be visible to the public.
13. All trash collection containers shall be screened from view using a permanent dumpster enclosure designed to match the building by using the same materials as those found on the building. The final design and location shall be reviewed and approved by the Planning Department prior to the issuance of a zoning permit.

Motion was seconded by Mrs. Schwartz. Motion PASSED by a roll call vote of 5-0.

SUBDIVISIONS

S-19-2, Cedarbrook Farms

Mr. Burkett summarized the staff report dated June 28, 2019, on a request by Patricia Izor, 5053 Parkeast Court, Dayton, OH 45458. The applicant is requesting approval of a final subdivision for approximately 13.84 acres within Cedarbrook Flower Farm in order to create 30 lots for the first phase of the new neighborhood. Staff recommended approval of the case with eight conditions.

Mr. Self asked if a left lane would be constructed on Shakertown Road. Mr. Burkett said yes there will be a turn lane into the plat. Mr. Self asked what phase Newton Drive would be connected. Mr. Layham explained it would be completed in Phase 2.

Mr. Shrider MOVED to approve S-19-2 with eight conditions:

1. The approved record plan shall be the plan stamped "Received June 17, 2019", except as modified below.
2. All conditions for approval of PUD 17-3 SSP #2 shall remain in full force and effect.

BEAVERCREEK PLANNING COMMISSION, 7/3/19

3. All fees and bonds for this subdivision including but not limited to a landscape bond, and fees-in-lieu of parkland, shall be approved by the Planning and Zoning Department and paid to the City of Beavercreek prior to the release of the record plat for recording.
4. The Planning Dept. shall provide, and the applicant shall sign and return to the Planning Dept., a Subdivider's Agreement for this section. Said Agreement must be reviewed and approved by the City prior to the release of the Record Plan for recording.
5. The applicant shall submit a copy of the proposed Homeowner's Association documents for this plat to the City Attorney for his review and approval. The Record Plan shall not be released for recording until the City Attorney has approved said document, and said document is recorded with the County Recorder's office.
6. All concerns and comments of the Planning and Zoning Department, City Engineer, Beavercreek Fire Dept., and Greene County Sanitary Engineering Department shall be satisfied prior to release of the record plan for recording.
7. The developer shall install an automatic photocell post light in the front yard of each buildable lot within the subdivision.
8. Prior to release of the record plat for recording, the applicant shall provide a digital format file of the finalized subdivision in Autocad or .dxf format.

Motion was seconded by Mr. Hight. Motion PASSED by a roll call vote of 5-0.

ADJOURNMENT

Mr. Loftis MOVED adjournment at 8:05 p.m., seconded by Mrs. Schwartz. Motion PASSED by majority voice vote.

Melissa Gillaugh
Deputy Clerk

**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: September 4, 2019 Agenda Reference No.:	Reference Topic: PUD 19-1 SSP #1 IH Credit Union Site Plan
--	--

ACTION REQUESTED		
<input type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input checked="" type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other _____

REQUEST BY APPLICANT:

The applicant is requesting this application be tabled until the October meeting to review and update site design and architectural elements.

STAFF RECOMMENDATION:

Staff is recommending Planning Commission table this application per the applicant's request.

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to approve, approve with conditions, disapprove, or table this application for further review.

Burkett

**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: September 4, 2019 Agenda Reference No.	Reference Topic PC 19-5 ASRA Panera
---	---

ACTION REQUESTED		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other

REQUEST BY APPLICANT:

The applicant is requesting Administrative Site Plan Review Approval (ASRA) for a Panera restaurant, proposed to be located at 3281 North Fairfield Road, the site of the former Friendly's Restaurant.

STAFF RECOMMENDATION:

Staff is recommending approval of this ASRA request, as outlined in the attached staff report.

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to recommend approval, disapproval, modification or table the attached application for further review.

CITY OF BEAVERCREEK

STAFF REPORT

August 30, 2019

PROJECT: Panera

CASE NO.: PC 19-5 ASRA

APPLICANT: Anchor Development LLC
3825 Edwards Street
Suite 630
Cincinnati OH 45209

REQUEST

The applicant is requesting Administrative Site Plan Review Approval (ASRA) for a Panera restaurant, proposed to be located at 3281 North Fairfield Road, the site of the former Friendly's Restaurant.

ANALYSIS

This property falls within a PDA (Planned Development Area) overlay district on the City's Land Use Plan. As a planned development area, this property is subject to the Administrative Site Plan Review Approval process. The ASRA process involves two public hearings, with Planning Commission making a recommendation to City Council, and City Council making a decision for or against approval.

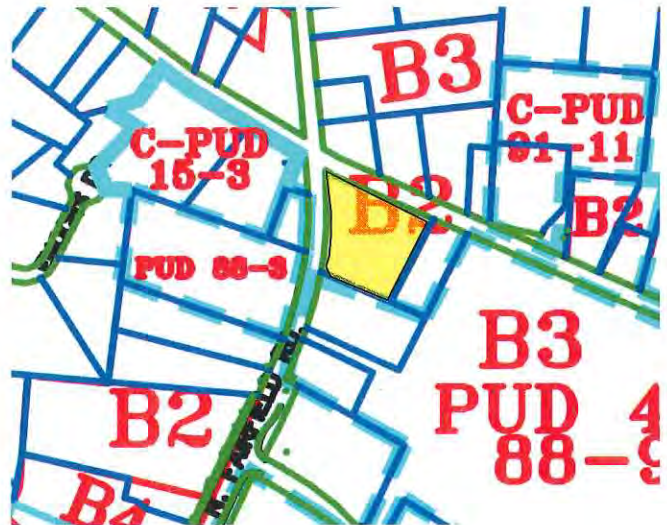
Existing Conditions

The proposed location is an approximately 1.1-acre parcel at the southeast corner of the intersection of Dayton-Xenia and North Fairfield Roads. As noted on the aerial photo to the right the property contains the former Friendly's restaurant and related site improvements. This proposal would call for the demolition of the building, and the rejuvenation and expansion of the existing pavement areas.



Zoning and Surrounding Uses

The property is currently zoned B-2, Community Business, and will remain as such. A restaurant with a drive thru window is permitted within B-2 zoning districts. The surrounding uses are as follows:



Direction	Surrounding Zoning	Surrounding Use
North	B2	Shell Gas Station
South	PUD 479 (B3)	Marion's Piazza
East	PUD 479 (B3)	US Bank
West	C PUD 15-3	Multi-Tenant Retail Building

Building Setbacks and Buffers

In B-2 zoning districts, the minimum yard requirements are as follows:

Yard Requirements	
Front Yard	70 feet from property line, unless City Engineer has established all needed ROW has been acquired, if so, then 40 feet
Rear Yard	30 feet from rear property line.
Side Yard	15 feet on each side.

The proposed site plan shows the building being located approximately 63 feet from the front property line from North Fairfield Road, approximately 45 feet from the front property line from Dayton-Xenia Road, approximately 56 feet from the eastern property line, and approximately 116 feet from the southern property line.

Building Design

The applicant proposes to construct a 24-foot tall building at its tallest point. The maximum building height in a B-2 district is 35 feet. The building is 63 feet long and 71 feet wide, with the front of the building facing North Fairfield Road, and a proposed drive thru window will be on the northern elevation of the building. The majority of the structure will be comprised of a dark brown brick veneer with beige EIFS along the upper portion, and a mid-brown composite wood siding tower/corner feature as shown in the attached plans. They

proposed to utilize green fabric awnings over the windows, entrances and the drive thru-window. Conditions of approval will be included in the resolution that will require that all roof top mechanical equipment be screened from visibility and that all downspouts be internally mounted.

Transportation Improvements

As seen on the proposed site plan, there are two access points currently proposed to the site. The proposed access off of Dayton-Xenia Road will be a full ingress/egress access point and will have separate left-out and right out turn lanes. This access point will be approximately 265 feet east of the North Fairfield Road and Dayton-Xenia Road intersection. The North Fairfield Road access point will be a full in, but right-out only access point. It will be located 285 feet south of the North Fairfield Road and Dayton-Xenia Road intersection. As it stands now, both access points to the site are non-restricted, full access points. This application represents an improvement to the traffic flow surety in and out of the site.

In addition to the two shown access points, the applicant has shown a third access point at the southeast corner of the site, to be constructed up to the property line. This will provide access to the Kimco/Kroger shopping center, without having to go back onto North Fairfield Road or Dayton-Xenia Road. They have been working on making contact with this owners of the property of the US Savings bank in order to get permission to make this connection now, but have not been successful. Staff has reached out to the bank manager, who is working on getting better contact information. In the meantime, Panera will construct the access point as close as possible to the property line, and will, per the conditions of approval, record a permanent cross access between the two properties.

Parking

For restaurants, the Zoning Code requires that there be one parking space for every 100 square feet of indoor floor area, one parking space for every 200 square feet of outdoor floor area and one parking space for each employee on the largest shift. Subtracting the standard 15% of floor area from the proposed building to account for restrooms, storage or processing, hallways and the like, and accounting for the 300 square feet of outdoor patio area, this proposal is required to have 37 parking spaces plus one for each of the 12 employees on the largest shift, which comes to a total of 49 parking spaces. This application proposes 50 parking spaces, including two handicap parking spaces. Based on the numbers, this application does meet the minimum requirements set in the zoning code. The other two Panera's in the City do not have drive-thrus, so it is anticipated there will be less stress on the parking lot counts and requirements than we've seen on the other two Panera's.

Screening, Landscaping and Open Space

As shown on the landscape plan of the attached packet, the applicant is proposing to install a wide variety of landscaping on site. The use of decorative shrubs and grasses in the perimeter and internal landscape islands helps to accent the building and parking area, and is consistent with what other developments in the area have installed. In addition to landscaping on and throughout their site, the applicant is proposing to install and maintain decorative

landscaping within the right of way adjacent to their property. In order for this to be permitted, a condition has been proposed in the attached resolution that requires a maintenance agreement be signed between the owner and the City, so that they understand that the owners will be required to maintain this landscaping in perpetuity. A condition of approval proposes the final revised landscape plan be approved by Staff. There are no concerns regarding the proposed landscaping.

Stormwater Management

With this development, there will be a slight decrease in the amount of impervious surface on the site (from 22.8% pervious to 24.7% pervious). Therefore no additional stormwater will need to be detained. However, all EPA water quality standards will need to be fulfilled as part of the final grading plans.

Lighting

A preliminary lighting plan has been included in your packet. Staff has added a condition that requires a final photometric plan be reviewed and approved by the Planning Department prior to the issuance of a zoning permit for this development. It should be noted that the lighting plan attached is based on the originally submitted site plan, and will be adjusted accordingly. The preliminary plans call for the use of 25-foot poles mounted on 2.5-foot concrete bases. All light poles will be located outside of the parking fields, in either landscape islands or the perimeter landscape areas of the parking field, and have full-cut off, LED fixtures.

Signage

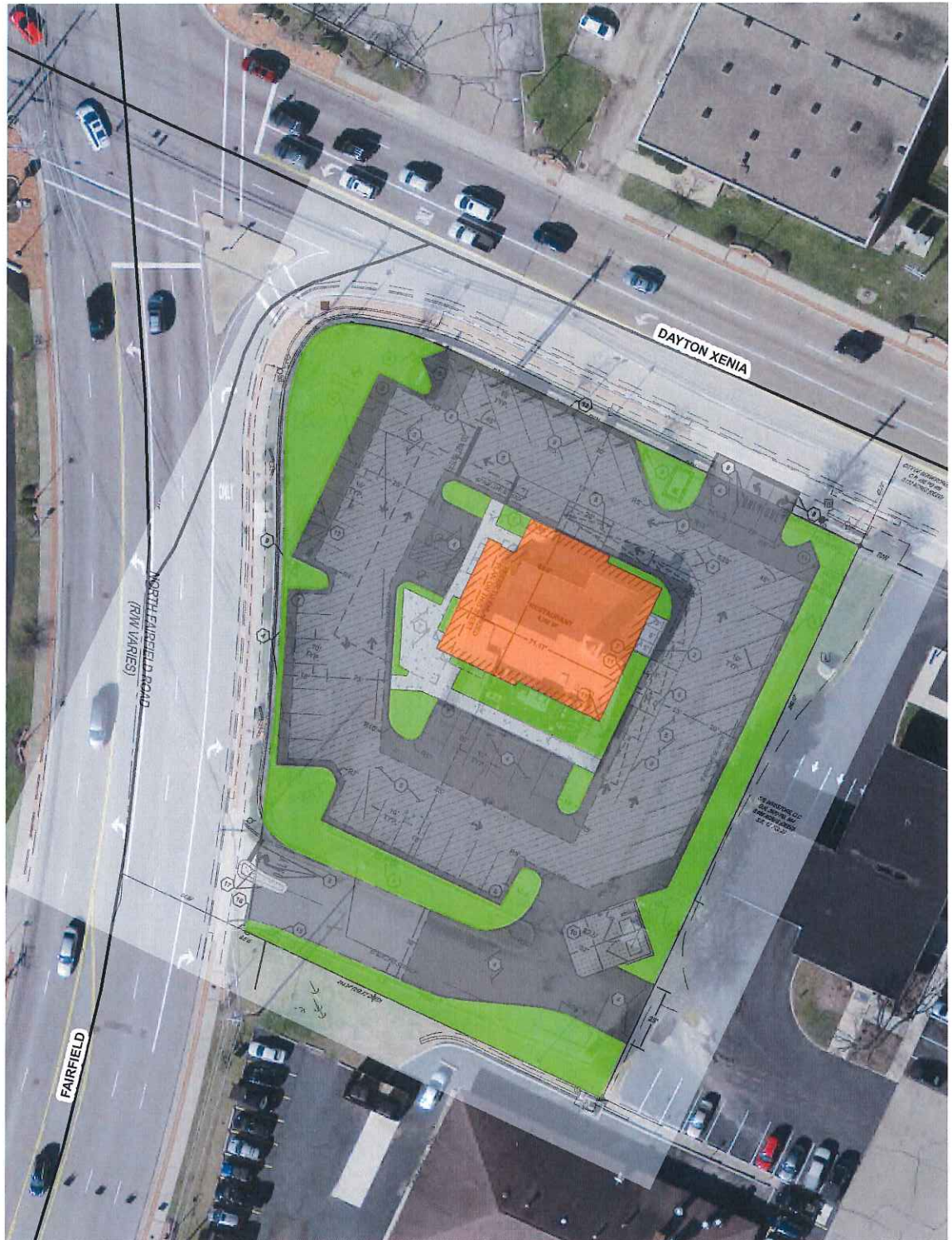
Signage is being proposed on all four elevations, and a 5-foot ground sign near the northwest corner of the lot, southeast of the North Fairfield Road and Dayton-Xenia Road intersection. The proposed wall signs on each elevation are 19.75 feet x 2.25 feet or 44.4 square feet. The ground sign, again is 5-foot tall, 8 feet wide and is proposed to have a sign face of approximately 32 square feet. Staff has added a condition that the final ground sign include a brick wrap, as shown in Exhibit A of the proposed resolution.

Utilities

Water and sewer will be available to the property.

Recommendation

Staff is recommending approval of this request as outlined in the attached resolution.



RESOLUTION

CITY OF BEAVERCREEK
PLANNING COMMISSION
September 4, 2019

RE: PC 19-5 Panera ASRA

WHEREAS, Anchor Development LLC, 3825 Edwards Road, Suite 630, Cincinnati, OH, has filed an application requesting approval of an ASRA Detailed Site Plan for the Panera to be located at 3281 North Fairfield Road; and

WHEREAS, public hearing was held on September 4, 2019 by the Beavercreek Planning Commission at which time all people who wished to testify gave their comments at the public hearing; and

WHEREAS, the Planning Commission finds that the facts submitted with this ASRA Detailed Site Plan application and presented at the public hearing and any modifications, amendments, or supplementary conditions satisfy the standards and criteria for an ASRA Detailed Site Plan as per §158.083 of the Zoning Code; and

WHEREAS, the Beavercreek Planning Commission is taking administrative action in approving this ASRA Detailed Site Plan.

NOW, THEREFORE BE IT RESOLVED that the Planning Commission recommends to the Beavercreek City Council:

SECTION I

The Beavercreek Planning Commission recommends to Beavercreek City Council approval of this ASRA Detailed Site Plan for the Panera with the following conditions and requirements.

SECTION II

1. The approved plans for this development shall be the plans stamped "Received August 28, 2019", except as modified herein.
2. The approved building elevations shall be those plans stamped "Received August 5, 2019" except where modified herein.
3. A detailed landscape plan shall be reviewed and approved by the Planning Department prior to the execution of the required Development Agreement and the release of a zoning permit.

4. Perpetual maintenance of landscaping shall be provided and any dead or diseased materials shall be removed and replaced with similar types, species and sizes as originally planted, within three months, weather permitting.
5. Prior to the release of the zoning permit, the applicant shall sign an agreement with the City pertaining to the maintenance of landscaping installed in the City's right-of-way. The agreement shall obligate the owners of the property to maintain said landscaping, so long as it remains in the right-of-way.
6. A Development Agreement must be signed by the owner and a bond or letter of credit for the required site landscaping must be submitted prior to issuance of a zoning permit for any portion of the project for the purpose, but not for the sole purpose, of insuring the installation of landscaping. Said bond or letter of credit must meet the requirements of the City's landscaping and screening regulations.
7. All trash collection containers shall be screened from view and enclosed within a permanent dumpster enclosure or completely kept within the building. Any dumpster enclosures shall be constructed of materials to match the building, and fitted with a closeable, lockable gate.
8. Debris and trash shall be routinely collected by the owner from the parking lot and grounds of all areas of the project including the storm drainage facilities. The City reserves the right to require more frequent collection as necessary.
9. Gutters, downspouts and roof access ladders shall not be visible on any elevation of the building. They shall be internally mounted. Thru-wall scuppers are permitted.
10. The façade shall not be painted or altered without the expressed approval of the Planning Department and/or Planning Commission.
11. All service doors shall be painted to match the building per the approval of the Planning Department.
12. Any ground sign shall be a maximum of 5 feet in height, including a 1-foot brick base and wrap (as shown in Exhibit A), and shall have a maximum of 32 square feet of sign area per sign face.
13. The wall signs permitted shall be those as shown on the approved architectural elevations.
14. The ground sign shall be constructed with a masonry base and wrap, to match the materials used to construct the building.

15. Prior to the issuance of a zoning permit, final cut sheet details and photometric plans for lighting of the site shall be reviewed and approved by the Planning Department. Maximum mounting height for any parking fixture shall be 25 feet, and no pole shall be located in the paved area of the parking field. Lights in the parking lot shall be reduced to no greater than 25 percent illumination level within one hour of closing.
16. All concerns of the City Engineer, Fire Department, Sanitary Engineer and the Planning Department shall be addressed and approved prior to the release of a zoning permit for the building.
17. All roof top mechanical units shall be completely screened from view from all directions with architectural features (roof forms or parapets).
18. Prior to the release of a zoning permit, the applicant shall record, with the Greene County Recorder's office, a permanent cross access and construction easement on the southeast corner of the property with the property to the east. Prior to getting the easement recorded, the applicant shall provide a draft of the easement to the Planning Department and the Law Director for review and approval.

SECTION III

These plans and all papers relating to the approved plan shall be submitted with this Resolution to City Council.

The Clerk is directed to transmit this case to City Council for further determination as required by law.

ADOPTED:

VOTING FOR ADOPTION:

VOTING AGAINST:

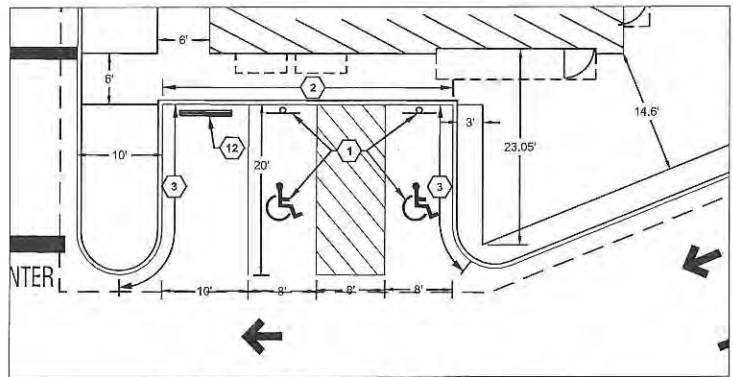
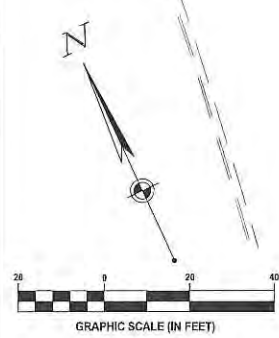
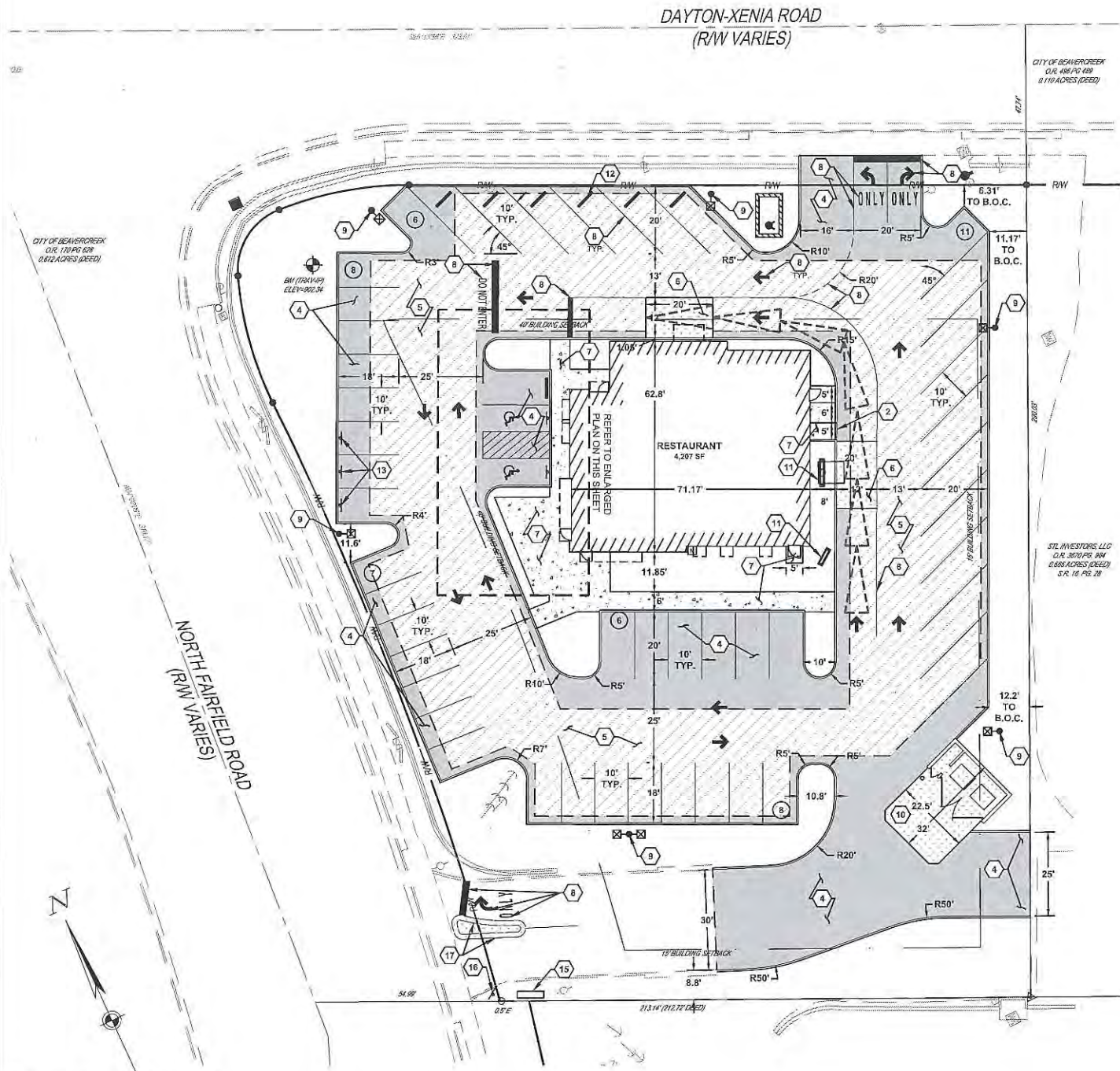
ABSENT:

Attest:

Chairman

Exhibit A





ENLARGED PLAN: ACCESSIBLE PARKING AREA
1" = 10'

LEGEND
REFER TO C1.1 FOR EXISTING FEATURES LEGEND

PROPOSED	
	BUILDING
	18" STRAIGHT CONCRETE CURB (EXCEPT WHERE NOTED)
	EDGE OF PAVEMENT/WALK
	PAVEMENT SAWCUT LINE
	ASPHALT PAVEMENT (FULL DEPTH)
	ASPHALT PAVEMENT (MILL & OVERLAY)
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	PARKING SPACE COUNT
	ADA PARKING SIGN
	CONCRETE BOLLARD
	LIGHT POLE

- CODED NOTES:**
1. ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE. REFER TO CONSTRUCTION DETAILS.
 2. FLUSH CURB.
 3. TRANSITION CURB FROM FLUSH TO FULL HEIGHT.
 4. ASPHALT PAVEMENT (FULL DEPTH), PER CONSTRUCTION DETAILS.
 5. MILL & OVERLAY EXISTING ASPHALT PAVEMENT.
 6. FUTURE CONCRETE PAVEMENT, BY TENANT. SITE CONTRACTOR TO PROVIDE 6-IN OF PREMIUM FILL IN PLACE OF CONCRETE PAVEMENT, PER G2.0 WORK LETTER ITEM #20.
 7. CONCRETE WALK, PER CONSTRUCTION DETAILS.
 8. PROPOSED PAVEMENT MARKINGS.
 9. LIGHT POLE BASE, PER CONSTRUCTION DETAILS.
 10. DUMPSTER & PAD. REFER TO ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS.
 11. MENU BOARDS AND CANOPY. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 12. CONCRETE PARKING BLOCK PER CONSTRUCTION DETAILS.
 13. CURBSIDE PICK-UP SIGN, UTILIZE ADA PARKING SIGNAGE DETAIL FOR BOLLARD/POLE MOUNT.
 14. PROPOSED WAY FINDING SIGNAGE, PER ARCHITECTURAL PLAN.
 15. PROPOSED SITE IDENTIFICATION SIGN, PER ARCHITECTURAL PLAN.
 16. PROPOSED 'DO NOT ENTER' AND 'NO LEFT TURN' SIGN, PER CITY OF BEAVERCREEK AND MUTCD STANDARDS. SIGN TO BE ORIENTED TOWARD N FAIRFIELD RD SOUTHBOUND TRAFFIC
 17. PROPOSED MOUNTABLE CURB ISLAND

RECEIVED
AUG 28 2019
CITY OF BEAVERCREEK
PLANNING DEPARTMENT



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO ONE CALL AT 811 OR 1-800-362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO ONE CALL.

ARCHITECTURE
PLANNING
ENGINEERING
GRAPHICS

105 BROADWAY
4TH FLOOR
NASHVILLE, TN 37201
(615) 244.8170
(615) 244.8141
www.mjmarch.com

CCT BEAVERCREEK, LLC
3825 EDWARDS ROAD
SUITE 630
CINCINNATI, OH 45209

PANERA BREAD SHELL
BEAVERCREEK, OH

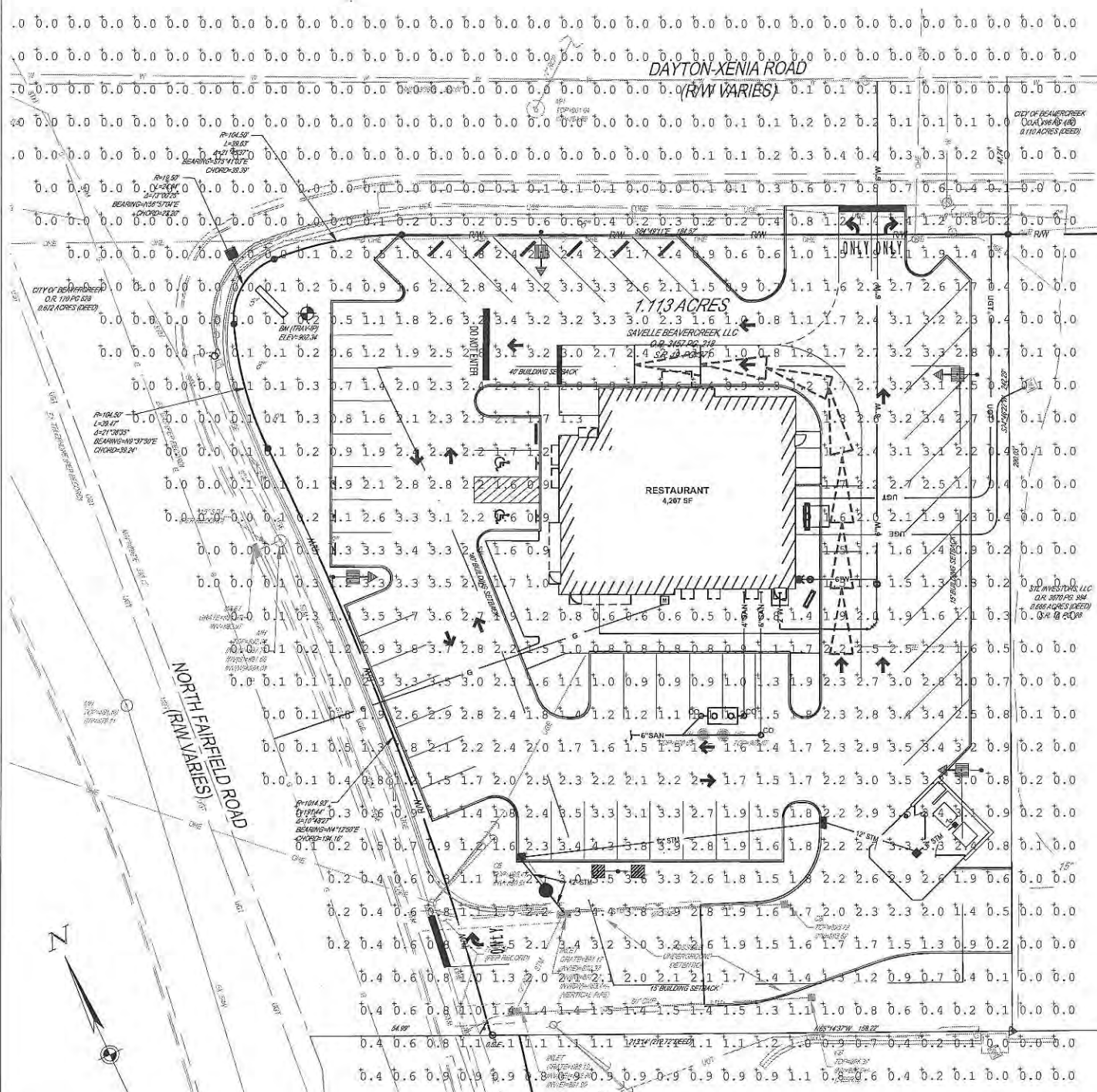
ZONING SUBMITTAL
08.28.19
18359

NO.	DESCRIPTION	DATE

This drawing and the design shown is the property of the architect. The reproduction, copying or use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

SITE PLAN

C4.0



Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpLx	PtSpFt
DRIVE THRU	Fc	1.94	3.2	0.8	2.43	4.00	10	10
PARKING	Fc	2.20	4.3	0.8	2.75	5.38		

Luminaire Schedule								
WLS11800 PANERA BREAD BEAVERCREEK, OH PM: HOLLY PLEASE EMAIL US FOR PRICING AT HOLLY@WLSLIGHTING.COM								
Symbol	Qty	Label	Lum. Lumens	LLF	Description			Lum. Watts
	1	A	17562	0.980	WLS-CLXM-LED-18L-SIL-5W-40-70CRI	25' POLE	3' BASE	148.5
	4	B	15715	0.980	WLS-CLXM-LED-24L-SIL-FI-40-70CRI-IL	25' POLE	3' BASE	188.8

REVISIONS		
REV #	DATE	BY:

RECEIVED
AUG 05 2019
CITY OF BEAVERCREEK
PLANNING DEPARTMENT

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO ONE CALL AT 811 OR 1-800-362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO ONE CALL.

WLS LIGHTING
a WLS company

1919 WINDSOR PLACE
FORT WORTH, TX 76110
WWW.WLSLIGHTING.COM

WLS-11800 DATE -6/4/19 SCALE: 1"=30' SHEET 1 OF 1

BY: J.P.

PM: HOLLY

800-633-8711

DATE -6/4/19

WLS-11800

ARCHITECTURE
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GRAPHICS

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STATE OF OHIO
J. P. Mays
PROFESSIONAL ENGINEER

CESO
www.cesoinc.com

CCT
BEAVERCREEK, LLC

3825 EDWARDS ROAD
SUITE 630
CINCINNATI, OH 45209

PANERA
BREAD SHELL

BEAVERCREEK, OH

ZONING SUBMITTAL
07.31.19
18359

NO.	DESCRIPTION	DATE

PHOTOMETRIC
PLAN

C8.0

[illegible]CITY OF BEAVERCREEK
PLANNING DEPARTMENT

PLANT MATERIALS LIST Both Sheets

QTY.	PLANT NAME	MINIMUM INSTALLED SIZE
SHADE TREES		
7	BOWHALL RED MAPLE - <i>Acer rubrum</i> 'Bowhall' (Narrow/Upright)	2-1/2" cal., B/B 5' Clear Trunk
3	SILVER LINDEN - <i>Tilia tomentosa</i>	2-1/2" cal., B/B 5' Clear Trunk
5	SKYLINE LOCUST - <i>Gleditsia triacanthos</i> f. <i>inermis</i> 'Skyline'	2-1/2" cal., B/B 5' Clear Trunk
4	SHINGLE OAK - <i>Quercus imbricaria</i>	2-1/2" cal., B/B 5' Clear Trunk
2	PATRIOT ELM - <i>Ulmus x 'Patriot'</i>	2-1/2" cal., B/B 5' Clear Trunk
4	ZELKOVA - <i>Zelkova serrata</i> 'Green Vase'	2-1/2" cal., B/B 5' Clear Trunk
ORNAMENTAL TREES		
5	SPRINGSNOW CRABAPPLE - <i>Malus 'Spring Snow'</i> (fruitless)	1-1/2" cal. cont. -Single Stem
3	SUGAR TUNE CRABAPPLE - <i>Malus 'Sutyam'</i>	1-1/2" cal. cont. -Single Stem
EVERGREEN SHRUBS		
13	BOXWOOD - <i>Buxus x 'Green Gem'</i>	# 3 cont.
29	SHAMROCK HOLLY - <i>Ilex crenata</i> 'Shamrock'	# 3 cont.
31	SEAGREEN JUNIPER - <i>Juniperus chinensis</i> 'Seagreen'	# 3 cont.
29	CALGARY CARPET JUNIPER - <i>Juniperus sabina</i> 'Morna'	# 3 cont.
2	BLUE ARROW JUNIPER - <i>Juniperus scopulorum</i> 'Blue Arrow'	24" ht. cont.
6	SKYROCKET JUNIPER - <i>Juniperus scopulorum</i> 'Skyrocket'	5' ht. B/B
57	GREY OWL JUNIPER - <i>Juniperus virginiana</i> 'Grey Owl'	# 3 cont.
18	DENSE YEW - <i>Taxus media densiformis</i>	24" spd. B/B
5	LEATHERLEAF VIBURNUM - <i>Viburnum rhytidophyllum</i> 'Alleghany'	4' ht. B/B
SHRUBS & GRASSES		
7	ROSEGLOW BARBERRY - <i>Barberis thunbergii</i> 'Roseglow'	# 3 cont.
31	ANNABELLE HYDRANGEA - <i>Hydrangea arborescens</i> 'Annabelle'	# 3 cont.
33	RUBY SLIPPERS HYDRANGEA - <i>Hydrangea querc.</i> 'Ruby Slippers'	# 3 cont.
17	DOUBLE KNOCK OUT ROSE - <i>Rosa 'Radikopink'</i>	# 3 cont.
8	GOLDFLAME SPIREA - <i>Spiraea bumalda</i> 'Goldflame'	# 3 cont.
8	LITTLE PRINCESS SPIREA - <i>Spiraea japonica</i> 'Little Princess'	# 3 cont.
10	FEATHER REED GRASS - <i>Calamagrostis x acutiflora</i> 'Karl Foerster'	# 3 cont.
3	LILY TURF - <i>Liriope muscari</i>	# 2 cont.
13	DWARF FOUNTAIN GRASS - <i>Pennisetum alopecuroides</i> 'Hawaii'	# 3 cont.
PERENNIALS		
10	MOONBEAM COREOPSIS - <i>Coreopsis verticillata</i> 'Moonbeam'	# 2 cont.
22	PURPLE CONEFLOWER - <i>Echinacea purpurea</i>	# 2 cont.
16	BLANKET FLOWER - <i>Gaillardia x grandiflora</i> 'Goblin'	# 2 cont.
10	PURPLE CORAL BELLS - <i>Heuchera micrantha</i> 'Palace Purple'	# 1 cont.
10	PARDON ME DAYLILIES - <i>Heemerocallis x 'Pardon Me'</i>	# 2 cont.
25	HAPPY RETURNS DAYLILIES - <i>Heemerocallis x 'Happy Returns'</i>	# 2 cont.
10	STELLA D'ORO DAYLILIES - <i>Heemerocallis x 'Stella d'Oro'</i>	# 2 cont.
115	MIXED DAYLILIES - <i>Heemerocallis x Various Colors</i>	# 1 cont.
18	SIBERIAN IRIS - <i>Iris sibirica</i> 'Caesar's Brother'	# 2 cont.
2	CREeping PHLOX - <i>Phlox subulata</i>	# 1 cont.
14	BLACK-EYED SUSAN - <i>Rudbeckia hirta</i>	# 2 cont.
42	AUTUMN JOY SEDUM - <i>Sedum x 'Autumn Joy'</i>	# 2 cont.
VINES		
5	BOSTON IVY - <i>Parthenocissus tricuspidata</i>	# 2 cont. Staked

LANDSCAPE CODE SITE DATA

LANDSCAPE CODE PERMITTED SUBSTITUTIONS
2 ORNAMENTAL TREES MAY BE SUBSTITUTED FOR 1 REQUIRED SHADE TREE. 2 EVERGREEN TREES MAY BE SUBSTITUTED FOR 1 REQUIRED SHADE TREE. 1 EVERGREEN TREE MAY BE SUBSTITUTED FOR 5 REQUIRED SHRUBS

TOTAL OPEN SPACE:
1,113 ac or 47,369.20 SF (- Minus Building 4,207 SF) + (- Minus Vehicle Pavement Area 25,430 SF) = 17,732
17,732 SF OPEN SPACE on 37.5% AS SHOWN

TOTAL NUMBER OF TREES PER REQUIRED OPEN SPACE:
1,113 ac or 47,369.20 SF @ 25% = 11,842.32 SF REQUIRED OPEN SPACE
11,842.32 SF REQUIRED OPEN SPACE / 2000 = 5.9 OR 6 SHADE TREES REQUIRED EXCEEDS REQUIREMENTS AS SHOWN

PARKING LOT and STREET FRONTAGE LANDSCAPE
REQUIRED: BETWEEN THE RIGHT-OF-WAY AND THE PARKING LOT TO BE PLANTED WITH A MINIMUM OF ONE SHADE TREE AND TEN SHRUBS PER 35 LINEAR FEET OF FRONTAGE, EXCLUDING DRIVEWAY OPENINGS.

NORTH FAIRFIELD ROAD FRONTAGE
230.91 LF (DRIVEWAY 32) = 159.91 / 35 = 5.68 OR 6 TREES REQUIRED 6 TREES AS SHOWN
5.68 x 10 = 56.8 OR 57 SHRUBS REQUIRED 61 SHRUBS AS SHOWN

DAYTON-XENIA ROAD FRONTAGE
224.14 LF (36 DRIVEWAY) = 188.14 LF / 35 = 5.3 OR 6 TREES REQUIRED 6 TREES AS SHOWN
(3 SHADE TREES & 6 ORNAMENTAL TREES)
5.3 x 10 = 53 SHRUBS REQUIRED 54 SHRUBS AS SHOWN

PERIMETER PARKING LANDSCAPE REQUIREMENTS
PROVIDE ONE TREE AND THREE SHRUBS PER 35 LINEAR FEET OF PARKING LOT PERIMETER ADJACENT TO A PROPERTY LINE. ANY SHADE TREE PLANTED TO FULFILL ANOTHER REQUIREMENT OF THESE REGULATIONS, WHICH IS LOCATED WITHIN 15 FEET OF THE EDGE OF THE PARKING LOT, OR ANY EXISTING SHADE TREE EXCEEDING FOUR INCHES CALIBER, WHICH IS LOCATED WITHIN 15 FEET OF THE EDGE OF THE PARKING LOT, MAY COUNT TOWARD FULFILLMENT OF THIS REQUIREMENT.

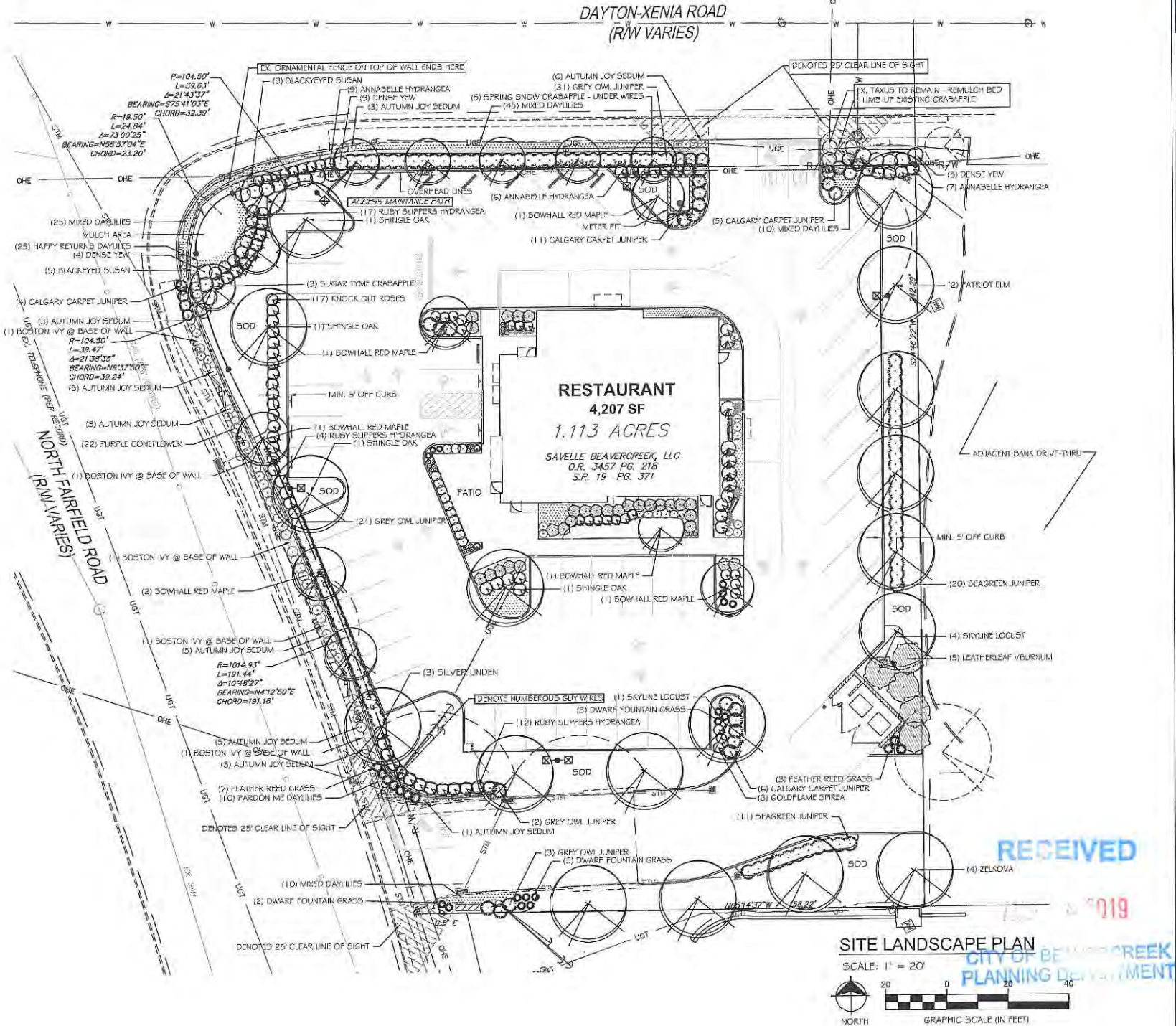
SOUTH PARKING LOT EDGE: 158.22 LF / 35 = 4.52 OR 5 TREES REQUIRED 5 TREES AS SHOWN
4.52 x 3 = 13.56 OR 14 SHRUBS REQUIRED 14 SHRUBS AS SHOWN

EAST PARKING LOT EDGE: 242.22 LF (24 DRIVE) = 218.22 LF / 35 = 6.23 OR 7 TREES REQUIRED 7 TREES AS SHOWN
6.23 x 3 = 18.69 OR 19 SHRUBS REQUIRED 20 SHRUBS AS SHOWN

PARKING LOT INTERIOR LANDSCAPE REQUIRED: TWO SHADE TREES WHICH SHALL BE LOCATED WITHIN 60 FEET OF EVERY PARKING SPACE AND 75% OF ISLANDS SHALL BE PLANTED WITH PERENNIALS AND SHRUBS, NOT EXCEEDING TWO FEET IN HEIGHT SO AS TO NOT CREATE A LINE OF SIGHT HAZARD.

MEETS REQUIREMENTS AS SHOWN

TOTAL INTERIOR LANDSCAPE REQUIRED: (4% OF VEHICLE AREA USE AREA)
25,430 SF VEHICLE AREA x 4% = 1,020 SF REQUIRED 2,510 SF AS SHOWN



LANDSCAPE REQUIREMENTS

1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING.
2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE LANDSCAPE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
3. LANDSCAPE CONTRACTOR SHALL COORDINATE PLANT INSTALLATION SEQUENCE WITH IRRIGATION CONTRACTOR. ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. ADVISE ARCHITECT'S REPRESENTATIVE BEFORE ADJUSTMENTS ARE MADE.
4. ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR PERENNIAL LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
5. A MINIMUM OF 6" DEPTH OF NEW TOPSOIL SHALL BE PLACED IN ALL BED AREAS BY LANDSCAPE CONTRACTOR PRIOR TO PLANT INSTALLATION. BACKFILL ALL SHRUBS AND TREES WITH BACKFILL MIX OF ONE PART COMPOST MULCH TREES AND SHRUBS WITH MIN. 3" DEPTH OF SHREDDED HARDWOOD MULCH. MULCH PERENNIALS WITH 2" DEPTH OF MULCH. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALLS, BUILDING, CURBS, OR OTHER PLANT BED LIMITS.
6. ALL BED EDGES SHALL BE SPACED CUT AND CLOSELY ALIGNED AS POSSIBLE WITH EDGES AS SHOWN ON DRAWING. KEEP MULCH A MIN. 1/2" BELOW ADJACENT PAVED SURFACES.
7. SEED OR SOIL ALL LAWN DISTURBED AREAS WITHIN PROJECT LIMITS AS NOTED ON CIVIL DRAWINGS, INCLUDING CUT TO PAVEMENT EDGES. REFER TO CIVIL DRAWINGS AND VERIFY EXTENT WITH PROJECT ARCHITECT'S REPRESENTATIVE.
8. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE YEAR FROM DATE OF ACCEPTANCE. PRIOR TO END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.

DESIGN-BUILD IRRIGATION REQUIREMENTS

1. THE IRRIGATION CONTRACTOR SHALL DESIGN, FURNISH AND INSTALL AN UNDERGROUND IRRIGATION SYSTEM INCLUDING ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES FOR A COMPLETE AND OPERABLE SYSTEM. SHRUB BEDS AND LAWN AREAS MUST BE ON SEPARATE ZONES PROVIDING A MINIMUM OF 95% COVERAGE. VERIFY EXTENT OF IRRIGATION WITH PROJECT MANAGER.
2. IRRIGATION CONTRACTOR SHALL VERIFY CONTROLLER LOCATION WITH PROJECT MANAGER.
3. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXCAVATION AND BACKFILL FOR THE SYSTEM INSTALLATION, INCLUDING ANY SETTLEMENT THAT MAY OCCUR.
4. THE IRRIGATION CONTRACTOR SHALL FURNISH AN AS-BUILT DRAWING TO THE OWNER UPON COMPLETION AND ACCEPTANCE OF THE WORK.
5. RELATED WORK BY OTHERS: THE FOLLOWING ITEMS ARE TO BE FURNISHED AND INSTALLED BY OTHERS. VERIFY WITH THE GENERAL CONTRACTOR.
 - ELECTRICAL STUB OUT FOR CONTROLLER BY ELECTRICAL CONTRACTOR.
 - WATER TAP AND STUB OUT BY PLUMBING CONTRACTOR.
 - IRRIGATION CONTRACTOR TO DETERMINE LOCATIONS FOR PROPOSED SLEEVES UNDER PAVEMENTS. SLEEVES SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.

LANDSCAPE ARCHITECT:
YELLOW SPRINGS DESIGN
PO Box 472 205 PARK MEADOWS DR.
YELLOW SPRINGS, OHIO 45387
(614) 837-7678 (M) 937-654-8190
yellowspringsdesign@bizzwhit.com
LICENSED IN: OH, KY, PA, IL, IN, MS,
MI, VA, TX, OK, AZ & UT



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: OHIO ONE CALL AT 811 OR 1-800-362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO ONE CALL.

LANDSCAPE PLAN

C8.0

ARCHITECTURE 105 BROADWAY
4TH FLOOR
NASHVILLE, TN 37201
PLANNING (p) 615.244.8170
ENGINEERING (f) 615.244.8141
GRAPHICS www.mjmarch.com



CCT
BEAVERCREEK, LLC

3825 EDWARDS ROAD
SUITE 630
CINCINNATI, OH 45209

PANERA
BREAD SHELL
BEAVERCREEK, OH

08.30.19
18359

NO.	DESCRIPTION	DATE

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SEAL

CONSULTANTS

OWNER

LOCATION

DATE

REVISIONS

SHEET



**CCT
BEAVERCREEK, LLC**

3825 EDWARDS ROAD
SUITE 630
CINCINNATI, OH
45209

**PANERA
BREAD SHELL**

BEAVERCREEK, OH

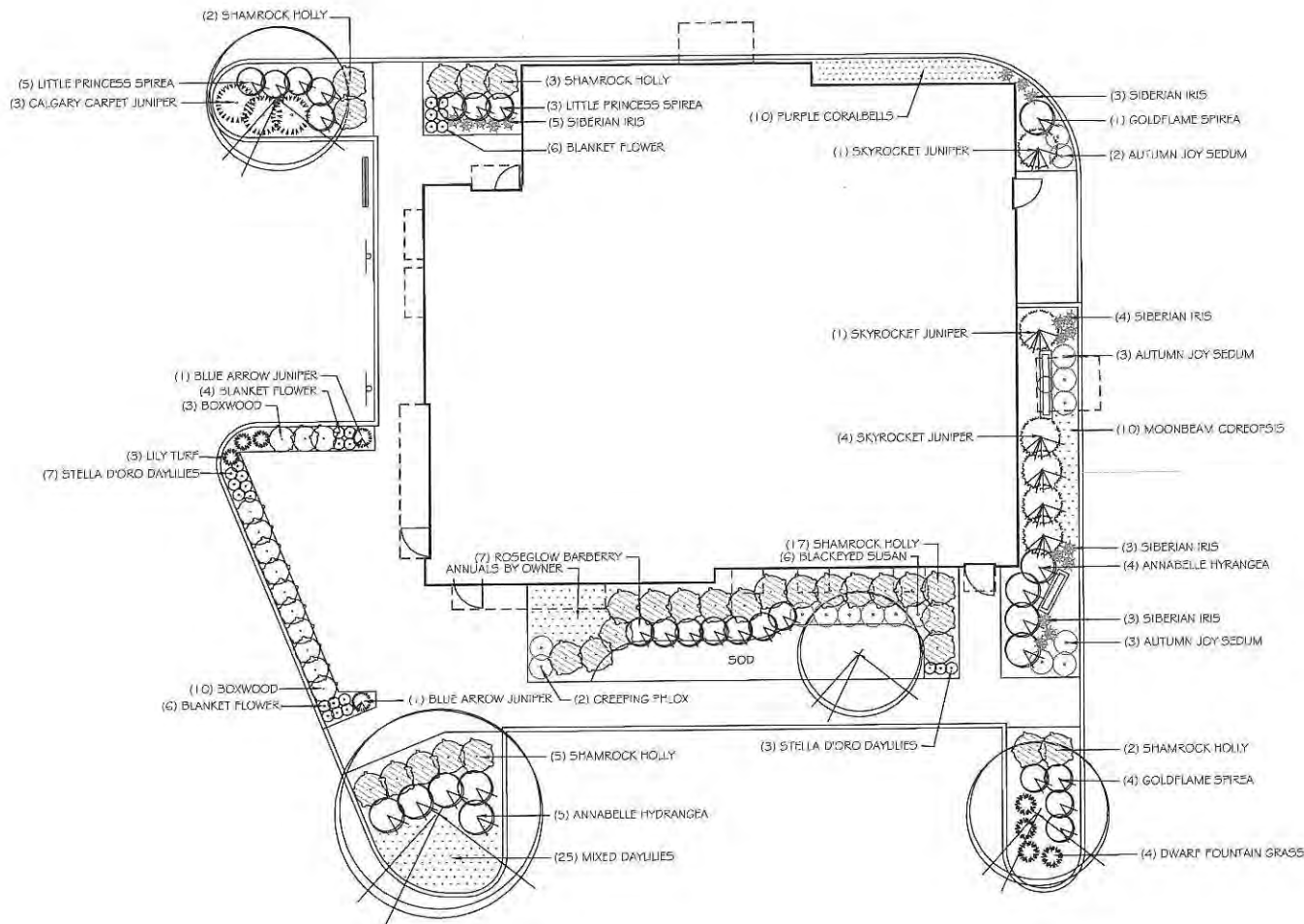
08.30.19
18359

NO.	DESCRIPTION	DATE

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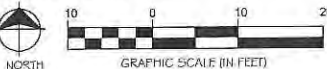
**BUILDING
LANDSCAPE PLAN**

C8.1

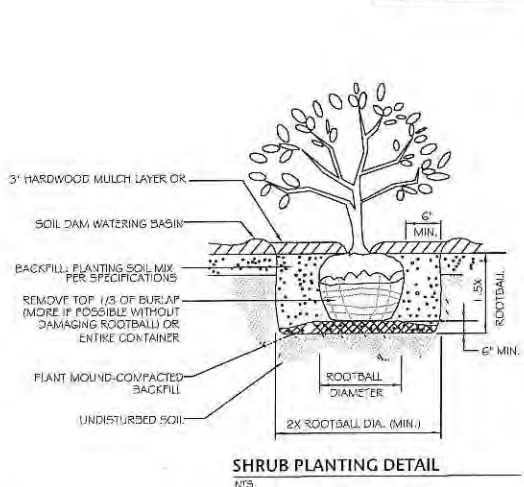


BUILDING LANDSCAPE PLAN

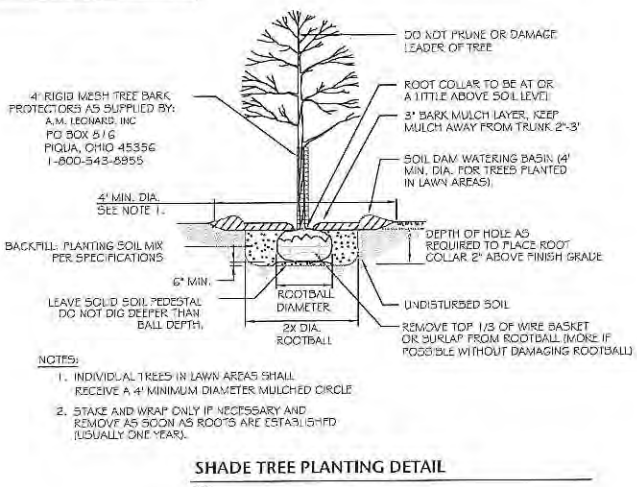
SCALE: 1" = 10'



PLANT INSTALLATION DETAILS



SHRUB PLANTING DETAIL
NTS



SHADE TREE PLANTING DETAIL
NTS

LANDSCAPE ARCHITECT:
YELLOW SPRINGS DESIGN
PO Box 472 205 PARK MEADOWS DR.
YELLOW SPRINGS, OHIO 45387
(O) 937.767.8199 (M) 937.654.8199
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LICENSED IN: OH, KY, PA, IN, IL, MS,
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**CITY OF BEAVERCREEK
PLANNING DEPARTMENT**



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 Phone: 615-244-8170 Fax: 615-244-8141 www.mjmach.com
 MJM PROJECT NUMBER: 18308

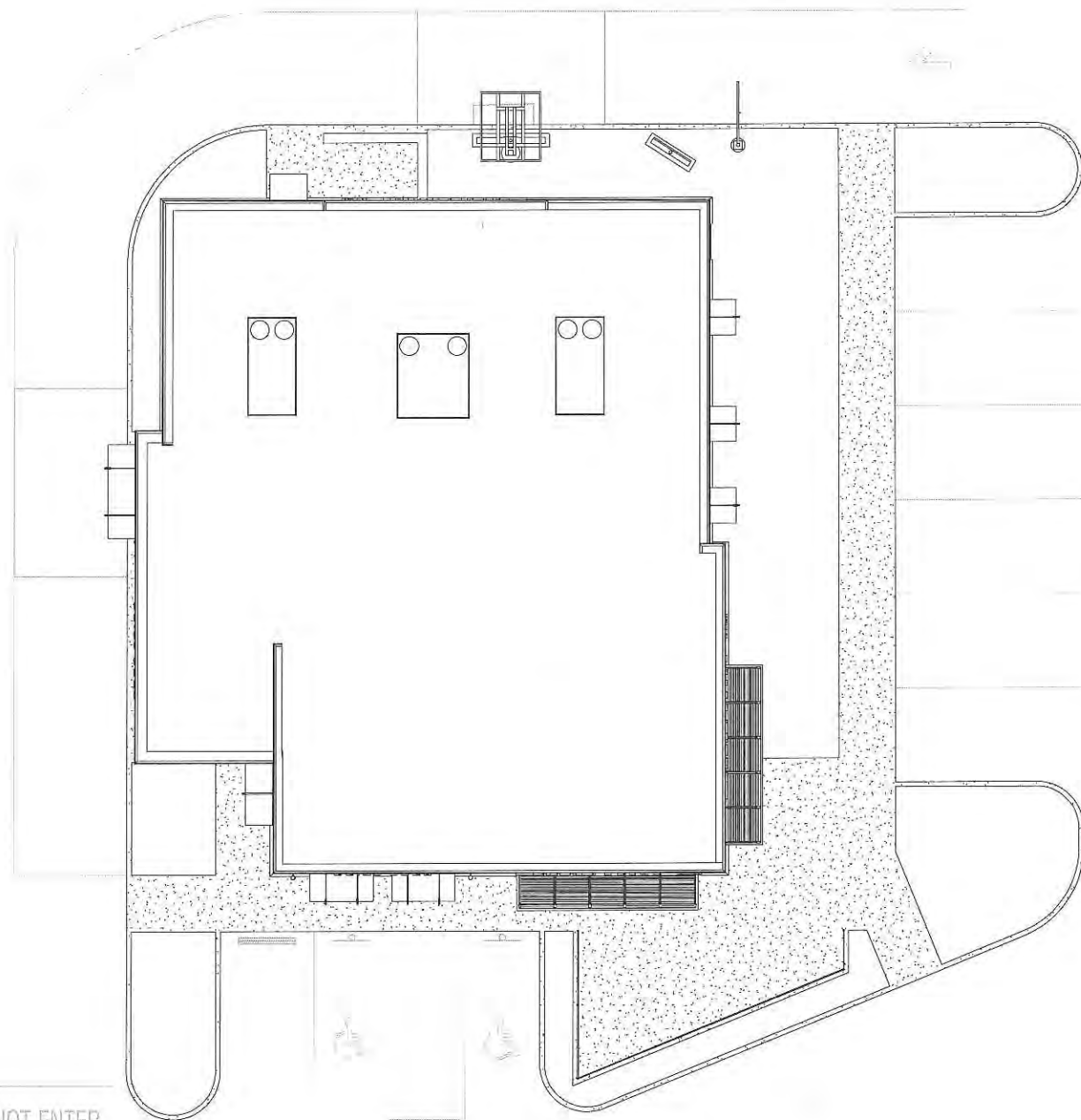
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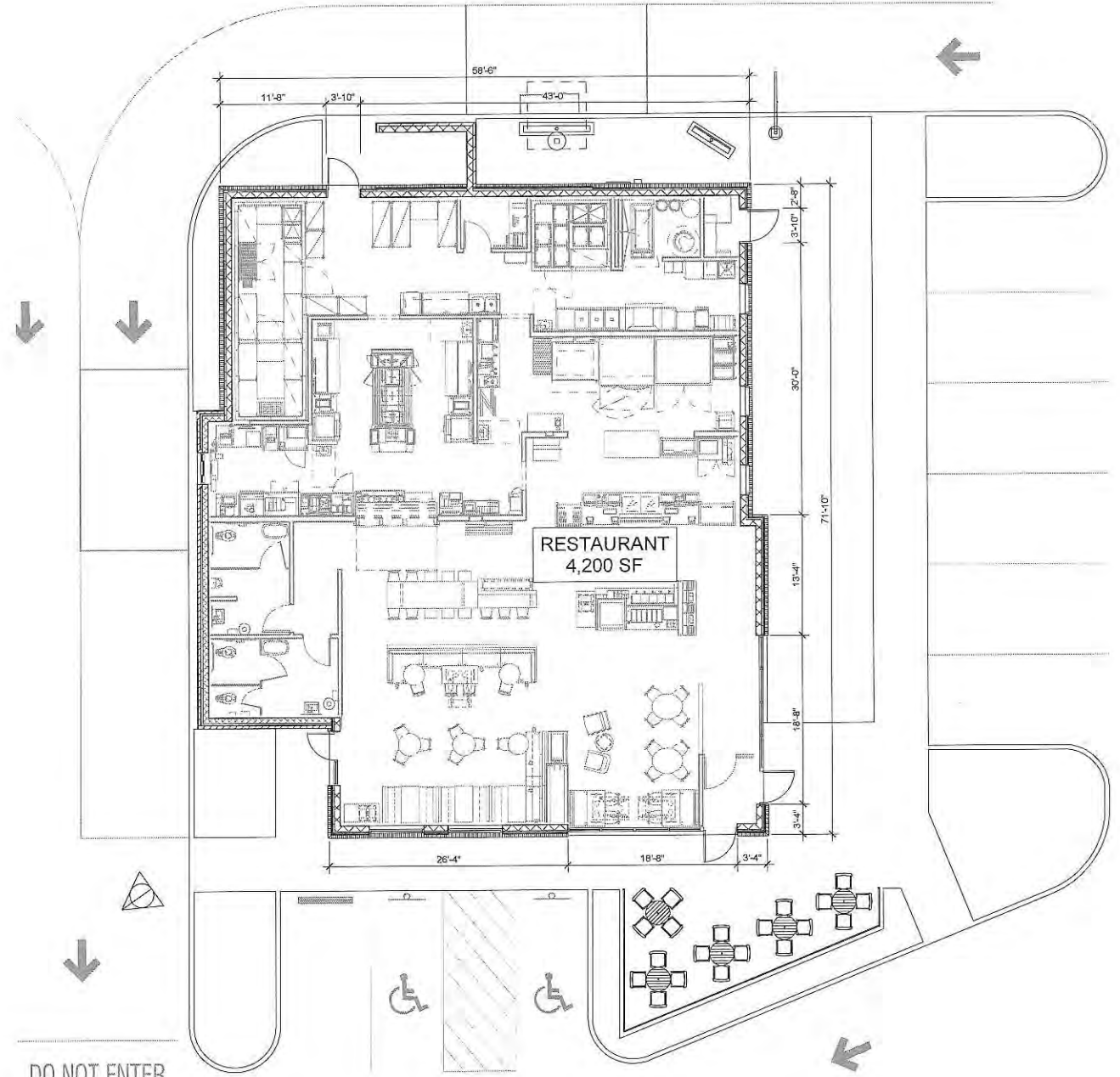
AUG 05 2019

CITY OF BEAVERCREEK
 PLANNING DEPARTMENT





② SD - ROOF PLAN
1/8" = 1'-0"



① FLOOR PLAN
1/8" = 1'-0"

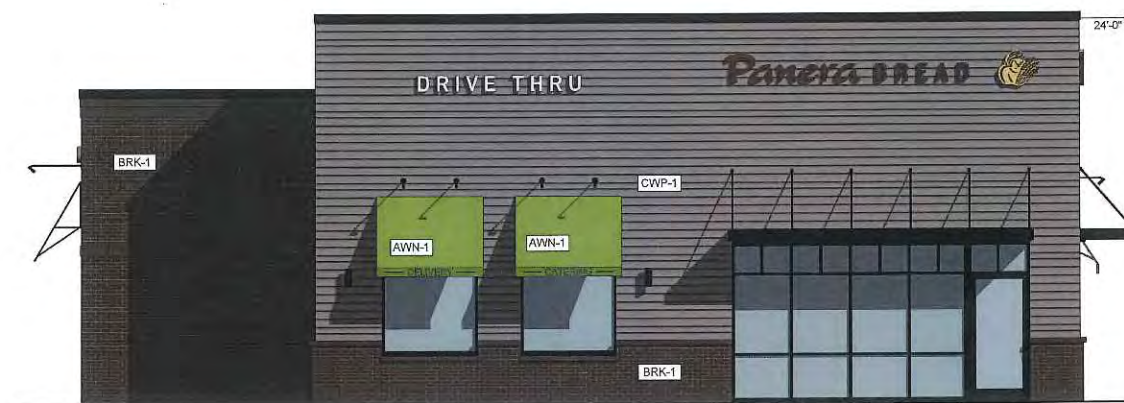


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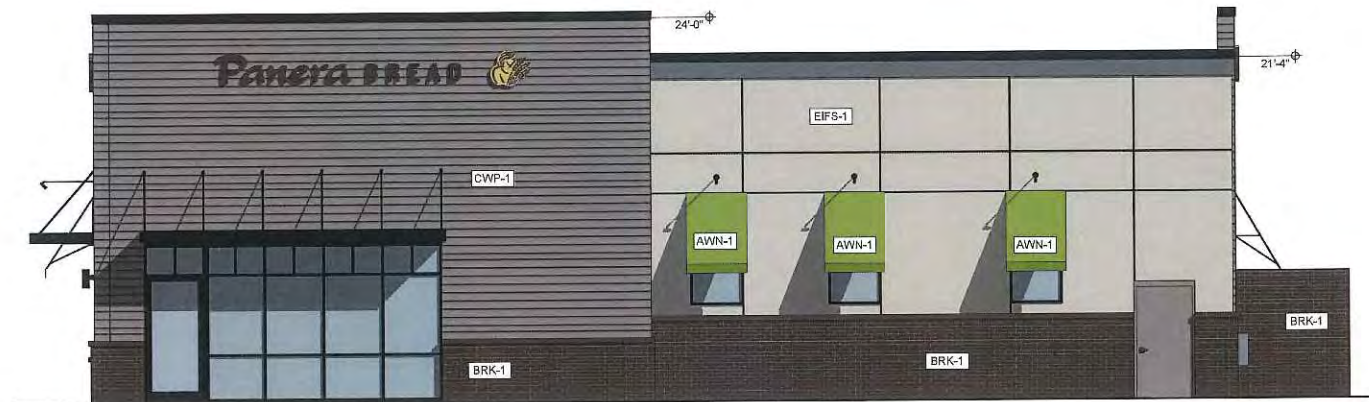
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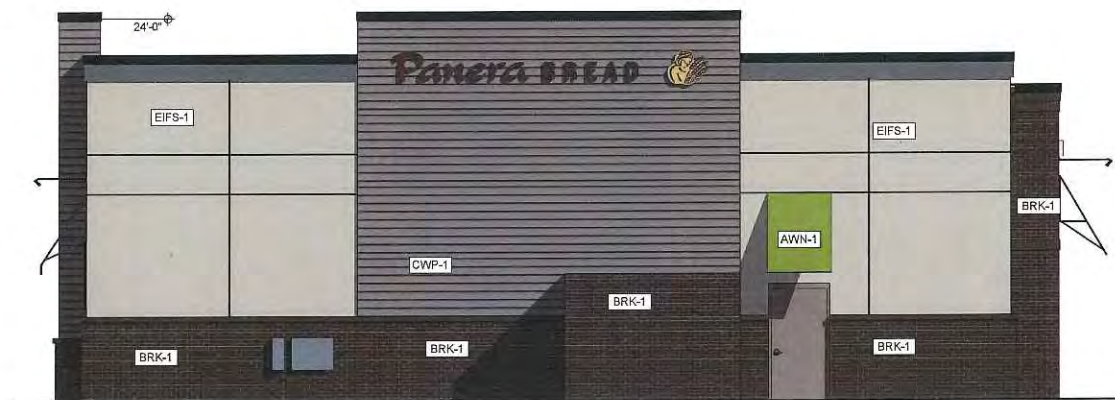




① COLOR - FRONT ELEVATION (WEST)
3/16" = 1'-0"



② COLOR - SIDE ELEVATION A (SOUTH)
3/16" = 1'-0"



③ COLOR - REAR ELEVATION (EAST)
3/16" = 1'-0"



④ COLOR - SIDE ELEVATION B (NORTH)
3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE				
MARK	MATERIAL	MANUFACTURER	COLOR	REMARKS
AWN-1	FABRIC AWNING	SUNBRELLA	UNITY LEAF	BY TENANT.
BRK-1	BRICK VENEER	ENDICOTT	DARK SANDSTONE	VELOUR RUNNING BOND
CWP-1	7" PREFINISHED MTL COPING	CARLISLE OR EQUAL	MATTE BLACK	
CWP-1	COMPOSITE WOOD SIDING	BORAL	BENJAMIN MOORE - WIEMERINER	TRUEX EXTERIOR 1x6 NICKLE GAP
EIFS-1	DRAINABLE EIFS	DRYVIT OR EQUAL	BENJAMIN MOORE - 955 - BERBER WHITE	TEXTURE: SANDEBBLE FINE DPR
EIFS-3	DRAINABLE EIFS	DRYVIT OR EQUAL	MATCH DRYVIT - 255 - "TIN MAN"	TEXTURE: REFLECTIT
STF-1	ALUM AND GLASS STOREFRONT SYSTEM	PPG	BLACK	AAMA - 2605, Medium Gloss



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① MONUMENT
1/2" = 1'-0"

FULL HEIGHT TIMBER TECH COMPOSITE DECKING
W/ CEDAR FINISH FASTENED TO PT BLOCKING

BRK-1

See
Aug
28th
Plans



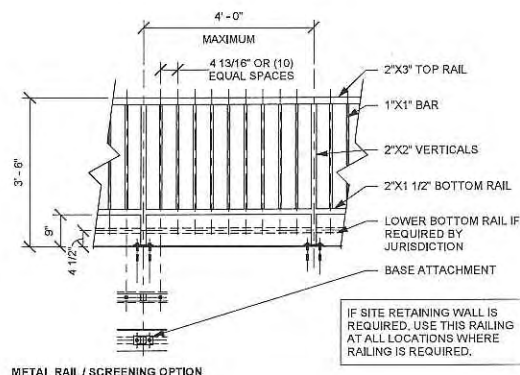
② TRASH
1/2" = 1'-0"



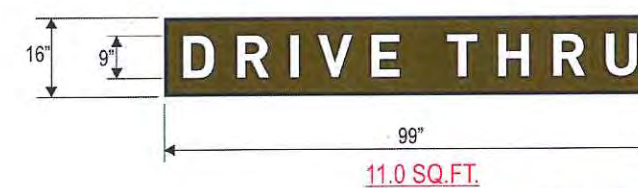
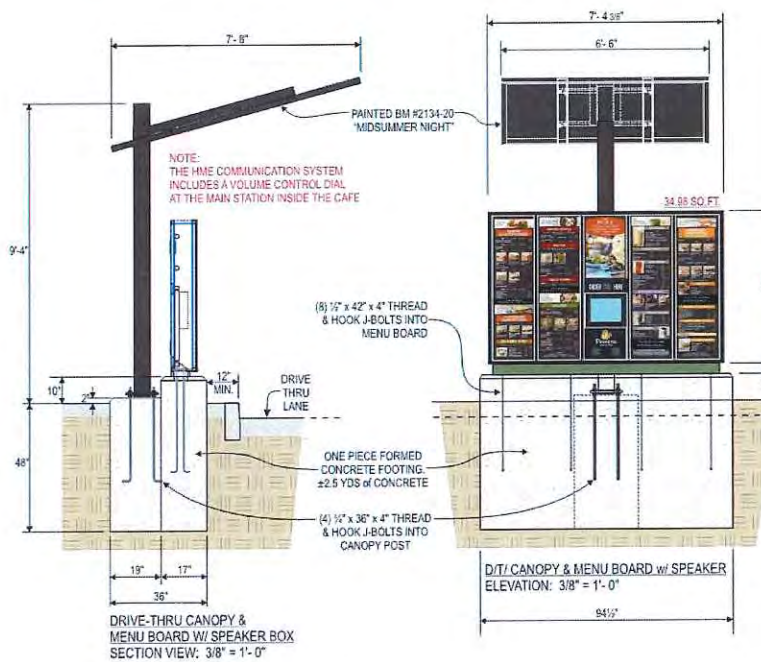
MANUFACTURER: AMERISTAR FENCE
STYLE: ECHELON PLUS 3/4 RAIL
MAJESTIC
PANEL HEIGHT: 42"

ALL CONNECTIONS ARE WELDED
EXCEPT
BASE ATTACHMENT. ALL WELDS TO BE
CONTINUOUS AND GROUND SMOOTH.
ANY GAPS TO BE FILLED.

PAINT COLOR OPTIONS ARE BLACK
POWDER COATED ALUMINUM,
COLOR TO MATCH DRIVE THRU
ACCESSORIES



③ PATIO RAILING
1/2" = 1'-0"

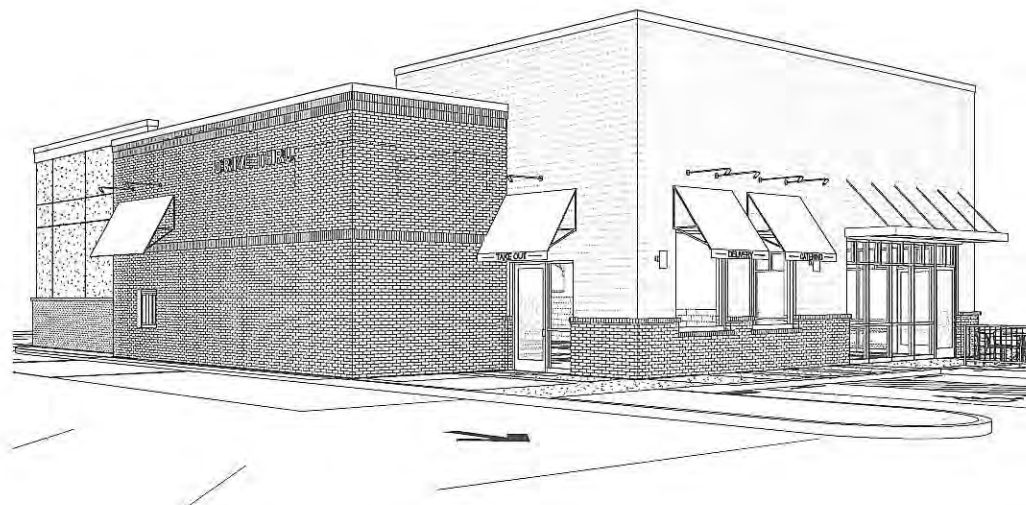


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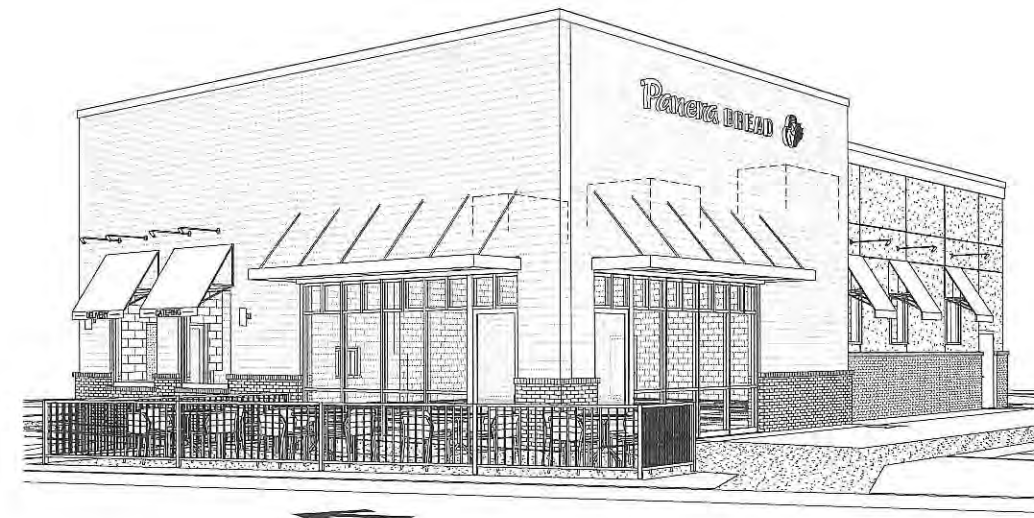
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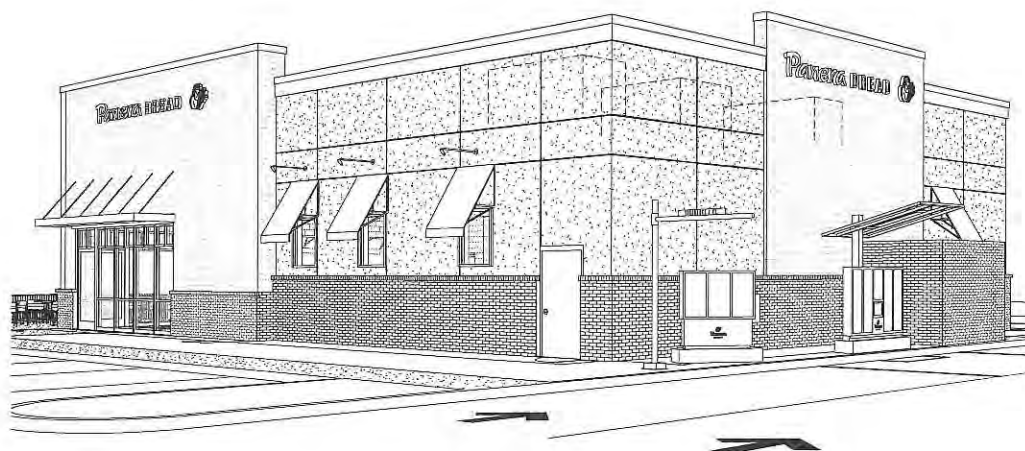




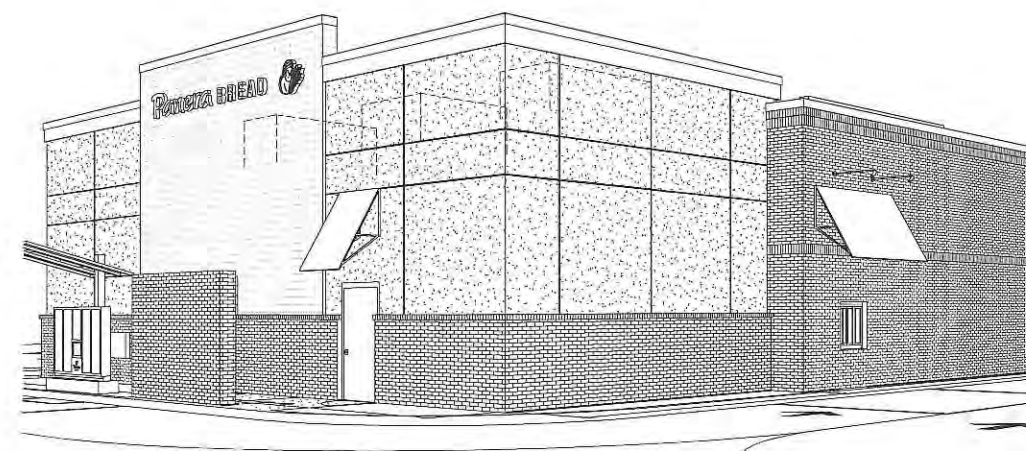
① SIGHT LINE 01 NW CORNER



② SIGHT LINE 02 SW CORNER



③ SIGHT LINE 03 SE CORNER



④ SIGHT LINE 04 NE CORNER

RTUs SHOWN DASHIED IN

SIGHT LINE STUDY

PANERA SHELL
BEAVERCREEK, OH
07.31.19



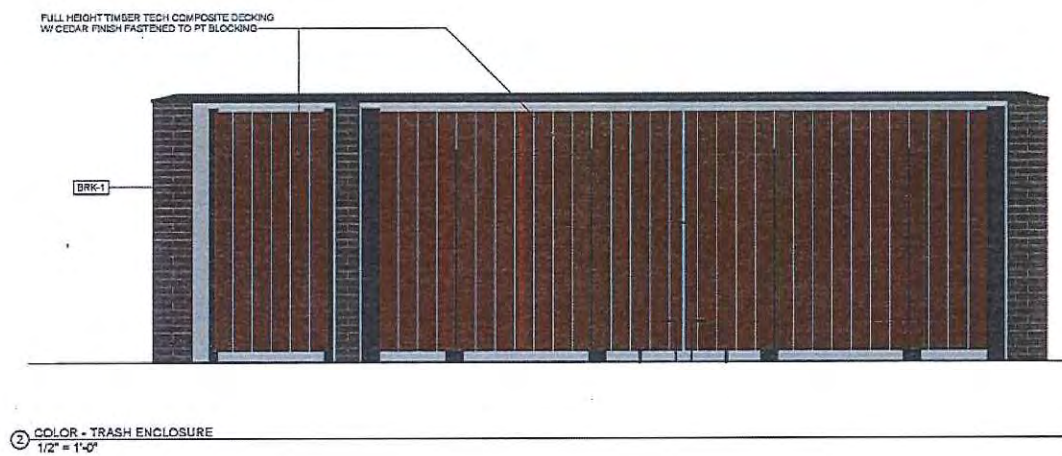
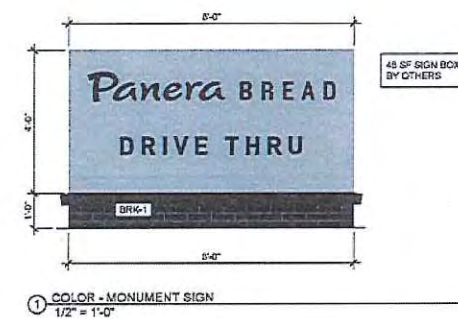
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CITY OF BEAVERCREEK
PLANNING DEPARTMENT



**CITY OF BEAVERCREEK
PLANNING COMMISSION
AGENDA ITEM REPORT**

Meeting Date: September 4, 2019	Reference Topic PUD 88-21 MOD 8/19 Minor
Agenda Reference No.	Mall at Fairfield Commons Signage

ACTION REQUESTED		
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Disapproval	<input type="checkbox"/> Table
<input type="checkbox"/> Review and Comment	<input type="checkbox"/> No Action Requested	<input type="checkbox"/> Other

REQUEST BY APPLICANT:

The applicant is requesting approval of a minor modification to PUD 88-21 in order to allow for the construction of two entrance signs to the Mall at Fairfield Commons.

STAFF RECOMMENDATION:

Staff is recommending approval of this minor modification request, as outlined in the attached staff report.

PROCEDURAL OPTIONS FOLLOWING ACTION:

The Planning Commission may choose to recommend approval, disapproval, modification or table the attached application for further review.

CITY OF BEAVERCREEK STAFF REPORT

August 27, 2019

PROJECT: Mall at Fairfield Commons Signage

CASE: PUD 88-21 MOD 8/19 (Minor)

APPLICANT: Emanuel Torres
Washington Prime Group
180 E. Broad Street
Columbus, OH 43215

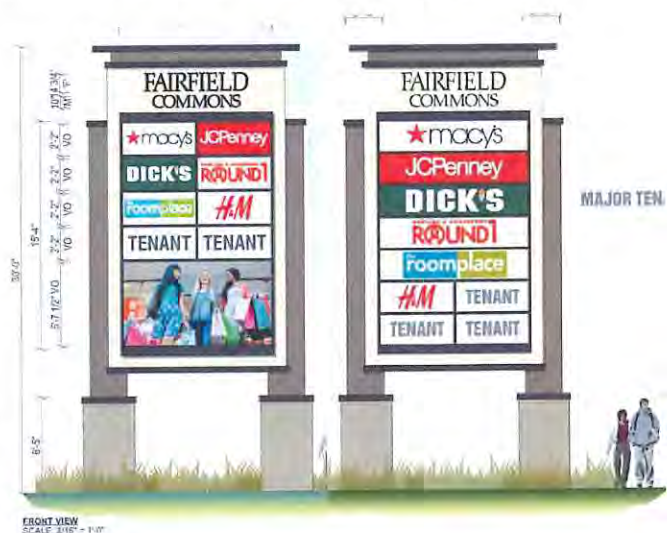
REQUEST

The applicant is requesting approval of a minor modification to PUD 88-21 in order to allow for the construction of two entrance signs to the Mall at Fairfield Commons.

ANALYSIS

The sign package for PUD 88-21 was originally approved in 1989. Within that approved sign criteria, three major pylon signs were permitted which were allowed to be 40 feet tall, with 164 square feet per sign face, totaling 328 square feet each. Since that original approval, the mall has undergone significant renovation and continues to do so in order to keep up with the ever-changing retail market. The applicant is proposing new entrance feature signage in order to provide more visibility not only to tenants that have occupied the mall since its opening in 1993 but also for the new tenants that will soon be occupying vacated spaces to ensure that it continues to thrive.

Each of the proposed signs will be 30 feet tall, with a total of 377 square feet of sign face each, 49 square feet above the original approval, which makes this modification request necessary. Sign A will consist of five panels for major tenants over 25,000 square feet with the remainder of the panels being for smaller tenants. Sign B will have eight smaller tenant panels and will include a 58 square foot LED display.



The signs are proposed to be located at the two main entrances to the mall on North Fairfield Road.

RECOMMENDATION

Based on this analysis, staff recommends approval of this request subject to these conditions:

1. This request shall be bound by all prior conditions of PUD 88-21, except as modified herein.
2. The approved plans for this project shall be the plans stamped "Received August 27, 2019" except as modified herein.
3. A permanent sign permit must be approved by the Planning and Zoning Department for each of the signs prior to the start of construction.
4. All concerns and comments of the Planning and Zoning Department and City Engineer, shall be addressed and satisfied prior to release of a zoning permit.
5. Landscaping consistent with the approved landscaping of PUD 88-21 shall be installed around the base of each of the signs.
6. Perpetual maintenance of the landscaping shall be provided and in dead or diseased material shall be removed and replaced with similar types, species and size as what was originally installed within three months weather permitting.
7. Only tenants with 25,000 square feet of space or more shall be permitted to occupy the top five panels of Sign A.

THE MALL AT FAIRFIELD COMMONS

E X T E R I O R S I G N P A C K A G E

EST# 3443

12.19.2017

JONES SIGN
Your Vision Accomplished

GREEN BAY

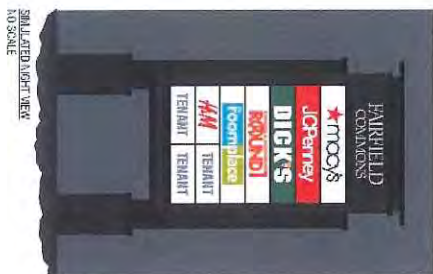
• PHILADELPHIA

• SAN DIEGO

• LAS VEGAS



FIELD SURVEY REQUIRED
COLOR CALL OUTS REQUIRED



MAJOR TENANT NEW DOUBLE-FACE INTERNALLY-ILLUMINATED PYLON SIGN
USE STANDARD ALUMINUM CONSTRUCTION w/ ANGLE

USE STANDARD ALUMINUM CONSTRUCTION W/ ANGLE
FRAME & STEEL PIPE SUPPORT INTO CONCRETE FOOTING.
ALUMINUM STRUCTURE TO HAVE LIGHT STUCCO FINISH W/
COLORS TO MATCH EXISTING BUILDING P-1, P-2, P-3.

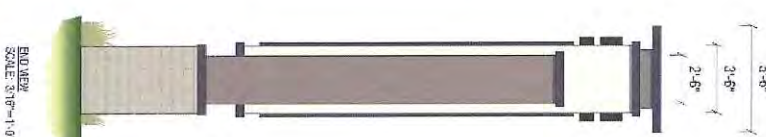
"FAIRFIELD COMMONS" TO BE FABRICATED PLEX FACED INTERNALLY-ILLUMINATED CHANNEL LETTERS w/ 1st SURFACE APPLIED VINYL V-1.

L.E.D. DISPLAY TO BE INTERNALLY-ILLUMINATED FULL COLOR ELECTRONIC MESSAGE CENTER (BY OTHERS).

TENANT PANELS TO HAVE SIMULATED 3-FORM PANEL CONSTRUCTION. ILLUMINATE W/ WHITE LEDS.

BASE TO HAVE BRICK VENEER FINISH TO MATCH BUILDING S-1.

SEE ENGINEER'S SPECS FOR STRUCTURAL CALCULATIONS.
VERIFY EXACT LOCATION OF SIGN PRIOR TO INSTALLATION.

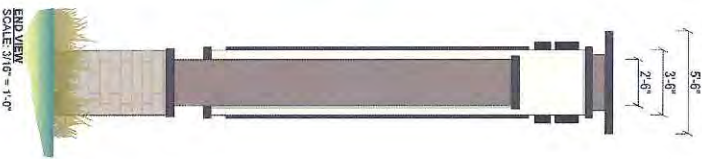


<div>JONES SIGN</div> <div>Your Vision Accomplished</div> <div>GREEN BAY • PHILADELPHIA SAN DIEGO • LAS VEGAS</div> <div>www.jonesign.com</div>				<div>JOB # 3443_R8</div> <div>DATE 10-10-2017</div> <div>DESIGNED BY SERGIO</div> <div>SAMPLE #JH000A</div> <div>PROJECT #</div>																																																																																																																																																																																																																																																																																																																																																																																																																					
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ANALYSIS. It is probable by now that more than 25% of the private sector of the ANL-JONES SCHOOL will be excluded or possibly much more. Including JPLS, where reported. We cannot guarantee exact meeting dates to varying correspondence of surface materials and prints used. At stake and termination are illustrated in various correspondence of printed and oral text to be understood as being what is or what should be.

B NEW D/F INTERNALLY-ILLUMINATED PYLON SIGN DISPLAY (Qty 1)

FIELD SURVEY REQUIRED
VECTOR ARTWORK REQUIRED
COLOR CALL OUTS REQUIRED
ENGINEERING REQUIRED



- COLORS**
- P-1 COLOR TO MATCH EXISTING BUILDING
 - P-2 COLOR TO MATCH EXISTING BUILDING
 - P-3 COLOR TO MATCH EXISTING BUILDING
 - V-1 PERFORATED BLACK VINYL #222
 - S-1 BRICK VENEER TO MATCH EXISTING

JONES SIGN		JOB # 3443 JR	DATE 10-10-2017	DESIGNER A. SERRANO	SALES REP. J. HODNA	PROJECT	THE MALL AT FAIRFIELD COMMONS	2771 FAIRFIELD COMMONS BLVD BEVERLYHILLS, CA 92511	SHEET NUMBER 3.0
Your Vision Accomplished		DATE 10-10-2017		DESIGNER A. SERRANO		SALES REP. J. HODNA		PROJECT	
GREEN BAY - PHILADELPHIA		DATE 10-10-2017		DESIGNER A. SERRANO		SALES REP. J. HODNA		PROJECT	
SAN DIEGO - LAS VEGAS		DATE 10-10-2017		DESIGNER A. SERRANO		SALES REP. J. HODNA		PROJECT	
www.jonesign.com		DATE 10-10-2017		DESIGNER A. SERRANO		SALES REP. J. HODNA		PROJECT	
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		DATE 10-10-2017		DESIGNER A. SERR					

August 2, 2019

**STAFF REPORT
SUBDIVISION REPLAT REQUEST
CASE NO. S 19-3
The Mall at Fairfield Commons**

APPLICANT: Matthew Jurkowitz
Washington Prime
180 E. Broad St.
Columbus, OH 43215

**ENGINEER/
SURVEYOR:** Kimley-Horn and Associates
250 E. 96th St.
STE 580
Indianapolis IN 46240

NATURE OF REQUEST

The applicant is requesting approval of a replat of the Mall at Fairfield Commons Subdivision to allow for the creation of an approximately 2.1 acre lot.

I. DISCUSSION

The creation of Lot 1C would be to accommodate the hotel that was recently approved by Planning Commission and will be moving forward to City Council in August. As previously stated, Lot 1C will be 2.1002 Acres and Lot 1B will be the remaining 58.342 acres and contains the entire Mall structure with the exception of Macy's.



Comments were received from the various area agencies, utilities, and city departments commonly included in reviewing proposed plans during the record plan review process. Those comments will need to be addressed prior to the release of the record plan.

II. RECOMMENDATION

Staff recommends approval of this final subdivision request subject to the following conditions, which must be addressed prior to release of the record plan

1. The approved record plan shall be the plan stamped "Received August 09, 2019", except as modified below.
2. All concerns and comments of the Planning and Zoning Department, City Engineer, Beavercreek Fire Dept., and Greene County Sanitary Engineering Department shall be satisfied prior to release of the record plan for recording.
3. Prior to release of the record plat for recording, the applicant shall provide a digital format file of the finalized subdivision in Autocad or .dxf format.

We the undersigned, being the owners of the lands platted herein do hereby acknowledge the making of and signing of the same to be our voluntary act and deed.

The lands shown hereon are subject to and benefited by those easements created by the plat "The Mall At Fairfield Commons", of record in Plat Book 27, Page 58, 59, and 60 (n.k.a. P.C. 34, Pg 212A-213A) and for providing ingress and egress to the property for said purposes, and are to be maintained as such forever.

Easements shown on the within plat are for the construction, operation, maintenance, repair and replacement of water, sewer, gas, electric telephone or other utility lines or services and for the express privileges of removing any and all trees or other obstructions to the free use of said utilities, and are to be maintained as such forever.

We also dedicate to Greene County, Ohio, the sanitary sewer lines and water lines upon completion of construction of said items; and to dedicate lands shown on the plat for the purposes of construction of sanitary sewer lines and water lines to the public use forever.

Signed and acknowledged
in the presence of:

Owner: MFC Beaver Creek, LLC
By:

Witness _____ Witness _____ By: _____

State of Ohio, SS:

Be it remembered that on this _____ day of _____, 20____, A.D., before me, the undersigned, a notary public in and for said state, personally appeared _____ who on behalf of said corporation and for themselves as such officers duly authorized by its board of directors acknowledged the signing of the foregoing instrument to be their/its voluntary act and deed for the purpose in said instrument mentioned. In testimony whereof, I hereunto set my hand and affix my notary Seal on the day and date aforesaid.

Notary Public

My Commission Expires

We, the undersigned, as mortgagor do hereby adopt and confirm this plat of subdivision for the purpose of dedication as shown hereon, for the purpose of granting the various easements as shown hereon.

Signed:
Witness: As to all

By: _____

Name: _____

Its: _____

State of Ohio, SS:

Be it remembered that on this _____ day of _____, 200____, a.d., before me, the undersigned, a notary public in and for said state, personally appeared _____ who on behalf of said corporation and for themselves as such officers duly authorized by its board of directors, acknowledged the signing of the foregoing instrument to be their voluntary act and deed for the purpose in said instrument mentioned. In testimony whereof, I hereunto set my hand and affix my notary seal on the day and date aforesaid.

Notary Public

My Commission Expires

REPLAT OF LOT 1A
THE MALL AT FAIRFIELD COMMONS
P.C. 30, Pg 564A-565A



This Plat approved by the City of Beavercreek, Ohio this _____ day of _____, 20____.

Planning Director _____ Chairman _____

Description:

Situated in the State of Ohio, County of Greene, City of Beavercreek, Section 35, Town 3, Range 7, Between the Miami's Survey and being all of Lot 1A of the Replat of Lots 1, 2, 5A, 5B & 6, The Mall At Fairfield Commons, a subdivision of record in Plat Cabinet Volume 30, Pages 564A-565A, and recorded in Volume 2138, Pg 861 of the Greene County Recorder's Office, containing a total of 60.442 Acres.

Bearings based upon Replat of Lots 1, 2, 5A, 5B & 6, The Mall At Fairfield Commons, a subdivision of record in Plat Cabinet Volume 30, Pages 564A-565A of the Greene County Recorder's Office.

I hereby certify that to the best of my knowledge and belief the accompanying plat is a correct return of a survey made under my direction and all monuments will be set as shown.

Tim Schwoeppe, P.S. - 8410
tim@berdingsurveying.com

Date _____

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	35.00'	54.98'	90°00'21"	N 38°21'19" W	49.50'
C2	350.00'	323.41'	52°56'36"	S 56°53'05" E	312.03'
C3	30.00'	40.47'	77°17'49"	N 69°03'41" W	37.47'
C4	400.00'	156.93'	22°28'42"	N 83°31'45" E	155.92'
C5	400.00'	199.95'	28°38'28"	N 70°54'39" W	197.88'
C6	25.00'	39.15'	89°43'25"	N 49°46'38" E	35.27'
C7	250.00'	118.41'	27°08'18"	N 08°39'33" W	117.31'
C8	295.00'	139.73'	27°08'18"	N 08°39'33" W	138.43'
C9	351.00'	308.40'	50°20'33"	N 30°04'52" E	298.58'
C10	245.00'	208.41'	48°44'16"	N 79°37'17" E	202.18'
C11	30.00'	47.07'	89°53'49"	N 59°02'30" E	42.39'
C12	35.00'	54.35'	88°57'56"	N 30°23'22" W	49.05'
C13	35.00'	55.61'	91°01'45"	S 59°36'38" W	49.94'
C14	30.00'	47.12'	90°00'00"	S 30°54'24" E	42.43'
C15	30.00'	47.12'	90°00'00"	S 62°42'36" E	42.43'
C16	375.00'	153.05'	23°23'03"	N 83°58'55" E	151.99'
C17	35.00'	54.98'	89°59'52"	N 50°40'31" E	49.50'
C18	35.00'	53.66'	87°50'59"	N 40°24'01" W	48.56'
C19	351.00'	143.25'	23°23'03"	S 83°58'56" W	142.26'
C20	30.00'	47.12'	90°00'00"	S 27°17'24" W	42.43'
C21	149.00'	54.84'	21°05'22"	N 07°09'55" W	54.53'
C22	600.00'	207.85'	19°50'52"	S 06°32'39" E	206.81'
C23	367.80'	231.62'	36°04'56"	S 01°34'23" W	227.81'
C24	285.00'	103.76'	20°51'34"	S 30°02'38" W	103.19'
C25	374.00'	178.31'	27°19'02"	N 54°07'57" E	176.63'
C26	30.00'	52.99'	101°12'11"	S 17°11'23" W	46.37'
C27	347.00'	302.48'	49°56'40"	S 58°23'03" E	292.99'
C28	35.00'	54.98'	89°59'52"	N 51°38'41" E	49.50'
C29	30.00'	60.52'	115°35'00"	N 30°48'05" W	50.77'
C30	200.00'	67.14'	19°14'01"	S 81°47'24" W	66.82'

LINE	BEARING	DISTANCE
L1	N 83°21'23" W	58.82'
L2	N 04°52'50" E	83.57'
L3	N 85°21'19" W	69.45'
L4	N 04°54'36" E	12.54'
L5	N 14°05'36" E	151.58'
L6	S 14°05'36" W	150.42'
L7	S 84°19'33" E	77.63'
L8	S 05°40'35" W	143.63'
L9	S 03°31'31" W	6.06'
L10	N 84°19'33" W	96.32'
L11	S 72°17'24" W	20.75'
L12	S 17°42'36" E	142.26'
L13	S 03°22'47" W	176.03'
L14	S 16°28'05" E	184.86'
L15	S 40°28'26" W	107.32'
L16	S 83°21'23" E	51.07'
L17	N 26°59'25" E	225.46'
L18	N 72°14'38" E	271.69'
L19	S 17°47'34" E	247.29'
L20	S 72°10'24" W	275.62'
L21	N 88°35'36" W	82.14'
L22	N 04°46'07" E	44.14'

1) Review Comments - TMS 08/05/19
Revisions

Replat of Lot 1A
The Mall at Fairfield Commons

Job Name

Section 35, Town 3, Range 7
Between The Miami's Survey
City of Beavercreek
Greene County, Ohio

Site Location

TMS | GJB | 1" = 200'

Drawn By _____ Checked By _____ Drawing Scale

05/10/2019 | 18152

Issue Date _____ Project Number



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